

## ADDENDUM 2

A. NOTICE TO BIDDER

1. This Addendum is issued pursuant to the Conditions of the Contract and is hereby made part of the Contract Documents. The addendum serves to clarify, revise, and supersede information in the Project Manual, the Drawings, and previously issued Addenda. The Bidder shall acknowledge receipt of this Addendum in the appropriate space on the Bid Form. Failure to do so may subject the Bidder to disqualification. A list of attachments, if any, is part of this document.
2. The date for receipt of bids for this project is unchanged by this Addendum.

B. DRAWINGS

1. Sheet G-001: Delete Sheet G-001 and replace with Sheet G-001, included in the Attachments.
2. Sheet AD-108: Delete Sheet AD-108 and replace with Sheet AD-108, included in the Attachments.
3. Sheet A-108: Delete Sheet A-108 and replace with Sheet A-108, included in the Attachments.
4. Add New Sheet A-108B, included in the Attachments.
5. Sheet A-708: Delete Sheet A-708 and replace with Sheet A-708, included in the Attachments.

C. ATTACHMENTS

1. Drawings:
  - a. Sheet G-001;
  - b. Sheet AD-108;
  - c. Sheet A-108;
  - d. Sheet A-108B;
  - e. Sheet A-708.

END OF ADDENDUM #2

# CLOSE HIPP EVENT SPACE RENOVATION

1705 COLLEGE ST., COLUMBIA SC 29208

BID SET  
09/24/19  
2202-193400



CLOSE HIPP  
EVENT SPACE  
RENOVATION  
PROJECT NO.:  
H27-Z340



LS3P ASSOCIATES LTD.  
701-A LADY STREET COLUMBIA, SC 29201  
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REVISIONS:		
No.	Description	Date
1	ADDENDUM NO. 1	10/17/2019
2	ADDENDUM NO. 2	10/24/2019

PROJECT: 2202-193400  
DATE: 09/24/19

PROJECT  
INFORMATION,  
DRAWING INDEX &  
MAPS

G-001

## DRAWING SHEET INDEX

### GENERAL

G-001 PROJECT INFORMATION, DRAWING INDEX & MAPS

### ARCHITECTURAL

AD-108 8TH FLOOR PLAN DEMOLITION  
A-108 8TH FLOOR PLAN - RENOVATIONS, SCHEDULES AND PARTITION TYPES  
A-108B ENLARGED PLANS  
A-708 8TH FLOOR INTERIOR ELEVATIONS & DETAILS  
A-711 INTERIOR DOOR DETAILS

### FIRE PROTECTION

FP1 EIGHTH FLOOR SPRINKLER PLAN

### PLUMBING

P1 PLUMBING NOTES, SCHEDS AND SPECIFICATIONS  
P2 PLUMBING FLOOR PLAN - EIGHTH FLOOR  
P2.1 1/4 SCALE PLUMBING FLOOR PLANS

### MECHANICAL

M-108C 8TH FLOOR HIPP MECHANICAL RENOVATION H.V. DUCTWORK  
M-108D 8TH FLOOR HIPP MECHANICAL RENOVATION L.P. DUCTWORK  
M-200 8ST FLOOR HIPP MECHANICAL RENOVATION H.V. DUCTWORK

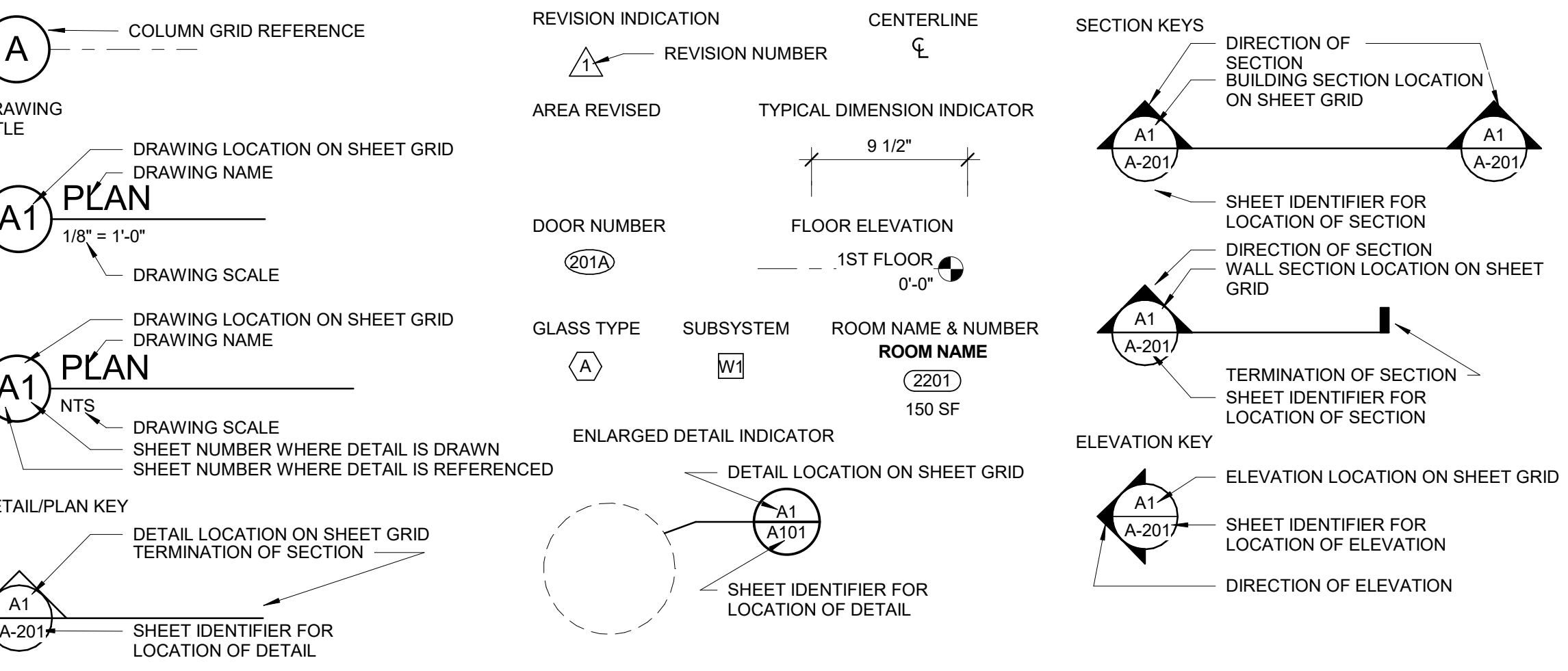
### ELECTRICAL

E-001 ELECTRICAL SYMBOLS, LEGENDS, & NOTES  
E-002 PANEL SCHEDULES  
E-108 EIGHTH FLOOR LIGHTING PLAN  
E-208 EIGHTH FLOOR POWER RENOVATION PLAN  
E-308 EIGHTH FLOOR SYSTEMS PLAN  
E-400 ELECTRICAL SPECIFICATIONS  
ED-108 EIGHTH FLOOR DEMOLITION PLAN

## GENERAL REQUIREMENTS

1. THE TERM "CONTRACTOR" AND/OR "GC" WHEN USED ALONE REFERS TO THE GENERAL CONTRACTOR. THE "GC" SHALL BE RESPONSIBLE FOR ALL TRADES AND THE SCOPE CALLED FOR ON ALL DOCUMENTS.
2. THE TERM "LS3P" REFERS TO LS3P ASSOCIATED LTD. 701-A LADY STREET COLUMBIA, SC 29201.
3. THE TERM "OWNER" REFERS TO THE UNIVERSITY OF SOUTH CAROLINA AND/OR THE TERM "TENANT" REFERS TO THE CLIENT AND/OR OCCUPANT OF THE PREMISES.
4. THE GC SHALL NOTIFY LS3P IMMEDIATELY IF HE/SHE CANNOT COMPLY WITH ALL NOTES CALLED FOR ON THIS SHEET AND/OR ALL OTHER LS3P DRAWINGS.
5. THE GC SHALL TOUR THE SITE TO VERIFY THE PROJECT SCOPE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS. GC TO FULLY UNDERSTAND THE SCOPE OF WORK, AS SHOWN IN THESE DRAWINGS PRIOR TO THE SUBMISSION OF ANY PROPOSAL.
6. GC SHALL NOT SCALE DRAWINGS AND SHALL VERIFY ALL DIMENSIONS IN FIELD. IF DIMENSIONS ARE OMITTED OR IN QUESTION, THE GC SHALL OBTAIN CLARIFICATION FROM LS3P BEFORE CONTINUING WITH CONSTRUCTION.
7. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL CURRENT APPLICABLE CODES, REGULATIONS AND ORDINANCES OF ALL GOVERNING BODIES HAVING JURISDICTION OVER THE PROJECT. ALL WORK TO BE PERFORMED IN COMPLIANCE WITH BUILDING RULES AND REGULATIONS AS SET FORTH BY THE BUILDING OWNER/LANDLORD.
8. ALL PERMITS, LICENSES AND INSPECTIONS REQUIRED FOR THE EXECUTION OF THE WORK AND FOR SUBSEQUENT TENANT OCCUPANCY TO BE SECURED AND PAID FOR BY THE GC.
9. ALL WORK INDICATED WITHIN THE PROJECT SCOPE AND DESCRIBED ON THESE DRAWINGS IS THE GC'S RESPONSIBILITY, UNLESS OTHERWISE NOTED.
10. THE GC IS RESPONSIBLE FOR THE COORDINATION AMONG ALL TRADES TO ENSURE PROPER SEQUENCE AND EXECUTION OF WORK.
11. ALL REQUIRED MEANS OF EGRESS SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. THE GC IS RESPONSIBLE FOR PLACING AND ENSURING THAT ALL LIFE SAFETY MEET APPLICABLE CODES AND ARE IN GOOD WORKING ORDER. DEVICES SHALL INCLUDE, BUT NOT LIMITED TO, FIRE BELL, PULL STATIONS, SMOKE DETECTION AND EXTINGUISHERS. ALL EXISTING FIRE-RATED ELEMENTS TO BE RECONSTRUCTED IF DISTURBED DURING DEMOLITION AND/OR CONSTRUCTION. DISTURBANCES TO BE KEPT TO A MINIMUM.
12. ALL MATERIALS, ITEMS AND FIXTURES TO BE INSTALLED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND INDUSTRY STANDARDS.
13. ANY PRODUCT SUBSTITUTIONS INITIATED BY THE GC MAY BE CONSIDERED IF SUBMITTED AND APPROVED BY LS3P DURING THE PRICING PHASE ONLY. SUBSTITUTIONS SUBMITTED AFTER THE AWARD OF THE GENERAL CONTRACT MAY NOT BE CONSIDERED OR ACCEPTED. SUBSTITUTION SUBMISSIONS TO LS3P MUST CONTAIN COMPLETE PRODUCT DATA FOR THE PROPOSED SUBSTITUTION AND COMPLETE PRODUCT DATA FOR THE PRODUCT SPECIFIED IN THE DRAWINGS FOR WHICH THE GC IS PROPOSING SUBSTITUTION.
14. IMMEDIATELY UPON THE AWARD OF CONTRACT, THE GC TO CHECK CURRENT STOCK OF ALL ITEMS, INCLUDING BUT NOT LIMITED TO CARPET, WALLCOVERING, TILE/GRANITE/MARBLE AND LAMINATE. WITHIN 2 WEEKS OF THE AWARDED CONTRACT, THE GC TO PROVIDE LS3P AND OWNER, VERIFICATION OF MATERIALS PURCHASED TO ENSURE A TIMELY INSTALLATION. IF SPECIFIED ITEMS ARE OUT OF STOCK OR DISCONTINUED, THE GC TO PROVIDE LS3P AND/OR OWNER A MINIMUM OF (2) OPTIONS FOR THE SUBSTITUTES.
15. THE GC MUST NOTIFY LS3P AND/OR OWNER, OF ALL LONG-LEAD ITEMS WITHIN 2 WEEKS OF THE AWARD OF THE GENERAL CONTRACT.
16. WHERE "MIN" OR "VIF" IS NOTED ON PLANS, THE GC TO FIELD VERIFY THE DIMENSION IS OBTAINABLE. IF NOT, THE GC TO OBTAIN DIRECTION FROM LS3P.
17. THE DRAWINGS AND CONSTRUCTION SPECIFICATIONS AND NOTES ARE COMPLEMENTARY. SPECIFIC INFORMATION MAY BE FOUND IN EITHER OR BOTH. DISCREPANCIES AND/OR CONFLICTING INFORMATION AMONG OR WITHIN THE DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF LS3P DURING THE PRICING PHASE FOR CLARIFICATION. ANY DISCREPANCIES BROUGHT TO LS3P'S ATTENTION BY EITHER HIMSELF, THE OWNER, GC, TENANT OR ANOTHER PARTY, AFTER THE GC HAS BEEN AWARDED, SHALL BE RESOLVED BY LS3P. LS3P SHALL DETERMINE WHICH CONFLICTING ITEM SHALL GOVERN AS THE INSTRUCTIONS TO THE GC REGARDING THE EXECUTION OF THE WORK, AT NO ADDITIONAL COST TO THE OWNER, TENANT, LS3P, OR ANY OF THEIR REPRESENTATIVES AND/OR CONSULTANTS.
18. THE GC TO COORDINATE WITH THE BUILDING MANAGER THE INSTALLATION OF MATERIALS WHICH ARE RELATED TO THE BASE BUILDING OR OTHER TENANT SPACES. THE GC SHALL GIVE BUILDING MANAGEMENT A MINIMUM OF 24 HOURS NOTICE FOR ANY WORK TO BE PERFORMED AFTER NORMAL BUILDING HOURS (7A.M. - 6P.M.), ON WEEKENDS OR TO PERFORM ANY WORK REQUIRED IN AN ADJACENT TENANT'S SPACE.
19. THE GC IS RESPONSIBLE FOR THE COORDINATION OF ALL BUILDING SERVICES, TEMPORARY FIRE PROTECTION, TRASH REMOVAL AND COMPLIANCE WITH CONSTRUCTION REGULATIONS. THE GC TO COMPLY WITH THE RULES OF THE BUILDING AS TO THE HOURS OF AVAILABILITY OF BUILDING ELEVATORS, MANNER OF HANDLING MATERIALS, EQUIPMENT AND DEBRIS TO AVOID CONFLICT OR INTERFERENCE WITH THE NORMAL BUILDING OPERATIONS. THE GC TO THOROUGHLY CLEAN ALL NEW WORK PRIOR TO TURNING OVER SPACE TO TENANT.
20. THE GC TO PROVIDE EACH TRADE WITH A COMPLETE SET OF PLANS INCLUDING DISTRIBUTION OF ANY REVISIONS OR RE-ISSUE OF PLANS. THESE MUST ALWAYS BE USED AS A COMPLETE SET.
21. A SCHEDULE OF THE WORK AS WELL AS THE COST ESTIMATE BREAK DOWN OF WORK SHALL BE PROVIDED TO THE OWNER, TENANT AND LS3P (PROJECT MANAGER).
22. WITHIN 2 WEEKS OF THE AWARDED CONTRACT AND PRIOR TO THE PURCHASE OF MATERIALS AND/OR FABRICATION, THE GC TO PROVIDE CUTS, SAMPLES, AND/OR SHOP DRAWINGS TO LS3P'S ATTENTION FOR REVIEW AND APPROVAL, FOR THE FOLLOWING ITEMS UNLESS OTHERWISE NOTED:  
**SHOP DRAWINGS:** MILLWORK, CARPET SEAMING DIAGRAM, SIGNAGE, REFLECTED CLG. DETAILS (HVAC, SPRINKLER, GRILLES, ETC.), ELECTRIC/TELEPHONE PANEL LOCATIONS AND THERMOSTAT LOCATIONS.  
**CUTS:** PLUMBING FIXTURES, LIGHTING FIXTURES, HARDWARE, WOOD FLOORING, SUPPLY AND/OR RETURN REGISTERS, DRINKING FOUNTAINS, APPLIANCES, KITCHEN CABINETS, EXIT SIGNS, EMERGENCY LIGHTING.  
**SAMPLES:** TINTED/TREATED GLASS, WOOD MILLWORK/VENEER, PAINT COLORS ON DRYWALL, STAIN ON APPROPRIATE WOOD, MARBLE/GRANITE, FLOORING MATERIALS, WALLCOVERING (VINYL AND/OR FABRIC), MOCK-UP WITH SEAM SAMPLE AS WELL AS ANY CUSTOM ITEMS.
23. GC TO PROVIDE TENANT/OWNER WITH THE MANUFACTURER'S RECOMMENDED MAINTENANCE SCHEDULE AND/OR PROGRAM FOR EACH SPECIFIED APPLIANCE AND FINISH MATERIAL, INCLUDING CLEANING PROCEDURES AND EQUIPMENT TO BE USED. INCLUDE ALL WARRANTIES, GUARANTEES AND INSTRUCTION MANUALS. THIS INFORMATION TO BE SUBMITTED WITH FINAL PAYMENT REQUEST.
24. UPON COMPLETION OF THE PROJECT, GC TO PROVIDE THE OWNER/TENANT AND LS3P WITH "AS-BUILT" DRAWINGS. THESE DRAWINGS TO INCLUDE ANY REVISIONS TO THE STRUCTURAL, ELECTRICAL AND AIR DISTRIBUTION SYSTEMS. "AS-BUILTS" TO CONSIST OF A NEATLY MARKED-UP SET OF BLACK-LINE PRINTS.
25. LS3P MAKES EVERY EFFORT TO SPECIFY PRODUCTS THAT MEET AND/OR EXCEED MINIMUM INDUSTRY STANDARDS, HAVE APPROPRIATE TEST RESULT DOCUMENTATION, HAVE BEEN RESEARCHED AND TESTED, ARE APPROPRIATE FOR THE INTENDED USE, MANUFACTURED BY COMPANIES WHO WARRANT THEIR PRODUCTS AND ARE IN GOOD FINANCIAL STANDING. LS3P CANNOT GUARANTEE WARRANTY OR BE HELD RESPONSIBLE FOR A PRODUCT AND/OR MANUFACTURER'S FAILURE OR THE ABILITY TO SATISFY OBLIGATIONS.
26. REFER TO GENERAL CONSTRUCTION NOTES SHEET 8 INDIVIDUAL DRAWINGS FOR ADDITIONAL NOTES & SCOPE.

## GRAPHIC SYMBOL LEGEND



## ABBREVIATIONS

200	AIR CONDITIONING	GC	GENERAL CONTRACTOR	SD	STORM DRAIN
A/C	ADMINISTRATION	GYP BD	GYPSUM BOARD	SECT	SECTION
ADMIN	ADMINISTRATION	GYP PLAS	GYPSUM PLASTER	SF	SQUARE FEET
AFF	ABOVE FINISHED FLOOR	HC	HANDICAP	SIM	SIMILAR
AHJ	AUTHORITY HAVING JURISDICTION	HD	HEAVY DUTY	SPEC	SPECIFICATION
ALT	ALTERNATE	HDWD	HARDWARE	SPKR	SPEAKER
ALUM	ALUMINUM	HDWR	HARDWARE	SQ	SQUARE
APPROX	APPROXIMATE(LY)	HM	HOLLOW METAL	SS	STAINLESS STEEL
ARCH	ARCHITECT(URAL)	HORIZ	HORIZONTAL	STD	STANDARD
AUTO	AUTOMATIC	HT	HEIGHT	STOR	STORAGE
AUX	AUXILIARY	HVAC	HEATING, VENTILATION & AIR CONDITIONING	SUSP	SUSPENDED
AV	AUDIOVISUAL	ID	INSIDE DIAMETER	SYS	SYSTEM
BITUM	BITUMINOUS	INCL	INCLUDE(D), (ING)	T	TREAD
BL	BUILDING LINE	INFO	INFORMATION	TEL	TELEPHONE
BLDG	BUILDING	INSUL	INSULATION	TEMP	TEMPORARY
BOS	BOTTOM OF STEEL	INT	INTERIOR	TFF	TOP OF FINISH FLOOR
BOT	BOTTOM	JAN CLO	JANITOR CLOSET	THK	THICKNESS
CAB	CABINET	KIT	KITCHEN	THRU	THROUGH
CG	CORNER GUARD	KO	KNOCKOUT	TO	TOP OF
CJ	CONTROL JOINT	LAB	LABORATORY	TOB	TOP OF BEAM
CL	CENTER LINE	LAM	LAMINATE	TOC	TOP OF CONCRETE, CURB
CLG	CEILING	LAU	LAUNDRY	TOF	TOP OF FOOTING
CLG HT	CEILING HEIGHT	LAV	LAVATORY	TOJ	TOP OF JOIST
CLO	CLOSET	LFR	LINEAR FEET	TOM	TOP OF MASONRY
CLR	CLEAR(ANCE)	LVR	LOUVER	TOP	TOP OF PARAPET
CMU	CONCRETE MASONRY UNIT	MAINT	MAINTENANCE	TOS	TOP OF SLAB
COL	COLUMN	MATL	MATERIAL	TOW	TOP OF WALL
CONC	CONCRETE	MAX	MAXIMUM	TRTD	TREATED
CONF	CONFERENCE	MECH	MECHANICAL	TV	TELEVISION
CONT	CONTINUE, CONTINUOUS	MEZZ	MEZZANINE	TYP	TYPICAL
CORR	CORROSION	MFG	MANUFACTURING	UL	UNDERWRITERS LABORATORIES
CUB FT	CUBIC FOOT	MFR	MANUFACTURER	UNO	UNLESS NOTED OTHERWISE
CU YD	CUBIC YARD	MIN	MINIMUM	V.I.F.	VERIFY IN FIELD
DEMO	DEMOLISH	MISC	MISCELLANEOUS	VERT	VERTICAL
DEPT	DEPARTMENT	MO	MASONRY OPENING	VEST	VESTIBULE
DETAL	DETAIL	MR	MOISTURE RESISTANT	W	WEST, WIDE
DF	DRINKING FOUNTAIN	MTD	MOUNTED	W/	WITH
DIA	DIAMETER	MTG	MOUNTING	W/O	WITHOUT
DIAG	DIAGONAL	MTL	METAL	WW	WALL TO WALL
DM	DIMENSION	N	NORTH	WC	WATER CLOSET
DIV	DIVISION	NIC	NOT IN CONTRACT	WO	WOOD
DS	DOWNSPOUT	NOM	NOMINAL	WDS	WATER DISPENSING STATION (BOTTLE FILLING STATION)
E	EAST	NON COMB	NON-COMBUSTIBLE	WP	WORKING POINT, WATERPROOFING
EA	EACH	NTS	NOT TO SCALE	WR	WATER REPELLENT
EDF	EXISTING DRINKING FOUNTAIN	OC	ON CENTER	WT	WEIGHT
EIPS	EXTERIOR INSULATION & FINISH SYSTEM	OD	OUTSIDE DIAMETER	WWF	WELDED WIRE FABRIC
EJ	EXPANSION JOINT	OFCl	OWNER FURNISHED CONTRACTOR INSTALLED	YD	YARD
EL	ELEVATION	OPP	OPPOSITE		
ELEC	ELECTRIC(AL)	OPT	OPTION(AL)		
ELEV	ELEVATION	OSE	OFFICE OF STATE ENGINEER		
ENCL	ENCLOSED	PCF	POUNDS PER CUBIC FEET		
EQS	EDGE OF SLAB	PLAM	PLASTIC LAMINATE		
EQ	EQUAL	PLF	POUNDS PER LINEAR FEET		
EQUIP	EQUIPMENT	PLYWD	PLYWOOD		
ETR	EXISTING TO REMAIN	PNL	PANEL		
EW	ELECTRIC WATER COOLER	PR	PAIR		
EXIST	EXISTING	PRFAB	PREFABRICATED		
EXP JT	EXPANSION JOINT	PREFIN	PREFINISH		
EXT	EXTERIOR	PRKG	PARKING		
FF	FACE TO FACE	PSF	POUNDS PER SQUARE FOOT		
FD	FLOOR DRAIN	PSI	POUNDS PER SQUARE INCH		
FE	FIRE EXTINGUISHER	PT	PAIN, POST-TENSIONED, PRE-TREATED		
FEC	FIRE EXTINGUISHER CABINET	PVC	POLYVINYL CHLORIDE (PLASTIC)		
FF EL	FINISH FLOOR ELEVATION	QTR	QUARTER		
FHC	FIRE HOSE CABINET	QTY	QUANTITY		
FIN FLR	FINISHED FLOOR	R	RADIUS, RISER		
FLR	FLOOR, FILLER	RCP	REFLECTED CEILING PLAN		
FOC	FACE OF CURB	RD	ROOF DRAIN		
FOF	FACE OF FINISH	REF	REFRIGERATOR, REFERENCE		
FOM	FACE OF MASONRY	REQD	REQUIRED		
FOS	FACE OF SLAB	RL	ROOF LEADER		
FOW	FACE OF WALL	RM	ROOM		
FT	FOOT, FEET	RO	ROUGH OPENING		
FTG	FOOTING	ROW	RIGHT OF WAY		
FURN	FURNISH, FURNITURE	S	SOUTH		
GA	GAGE	SC	SOLID CORE		
GALV	GALVANIZED				

## VICINITY MAP



## AREA MAP





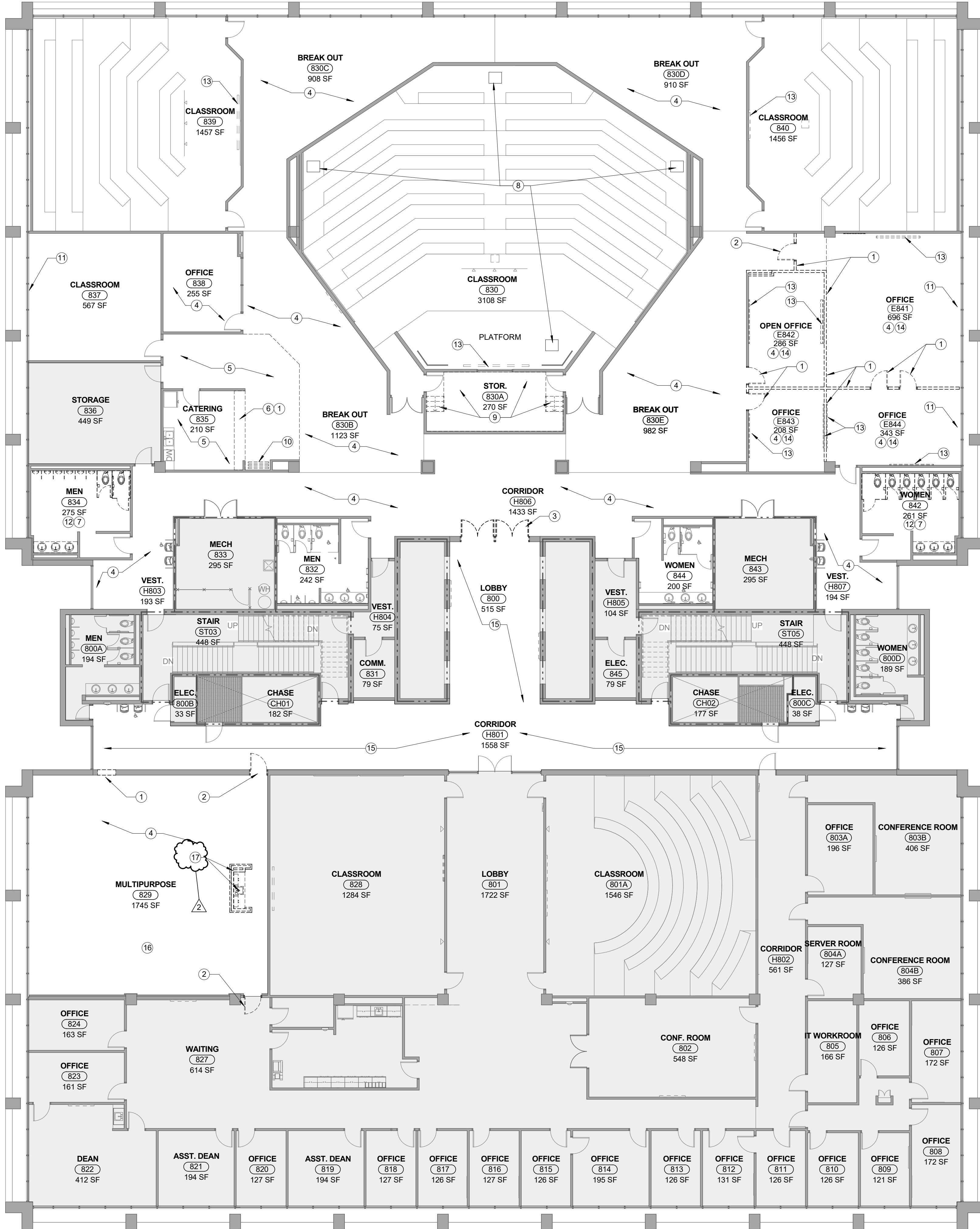
E

D

C

B

A



TRUE NORTH  
A3 8TH FLOOR PLAN-DEMOLITION  
3/32" = 1'-0"

GENERAL NOTES - DEMOLITION PLAN

- NUMBERED KEY NOTES DO NOT IMPLY SEQUENCE. CONTRACTOR TO PERFORM DEMOLITION WORK AS REQUIRED PER WORK SEQUENCE.
- DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING NEW CONSTRUCTION.
- EXISTING WORK TO REMAIN SHALL BE TEMPORARILY PROTECTED, SECURED, BRACED AND STABILIZED UNTIL PERMANENT CONSTRUCTION IS IN PLACE.
- VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT LOAD BEARING OR IS ADEQUATELY SHORED AS INDICATED ON STRUCTURAL DRAWINGS PRIOR TO STARTING ANY WORK.
- ERECT BARRICADES, FENCES OR OTHER SECURABLE MEANS TO PREVENT UNAUTHORIZED ACCESS INTO CONSTRUCTION ZONES.
- DO NOT ALLOW MATERIAL AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER. NO ON-SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED.
- THE CONTRACTOR MUST MAINTAIN ADEQUATE SUPPORT, INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC. FOR ALL OR PART OF ITEMS WHICH ARE TO REMAIN.
- TERMINATE AND CAP ANY UTILITY WHICH OCCURS IN EXISTING WALLS, CEILING OR FLOORS TO BE REMOVED AND IS NOT INTENDED FOR REUSE.
- PREPARE AND PATCH SURFACES THAT ARE DESIGNATED TO RECEIVE NEW FINISHES AS DESCRIBED IN THE CONTRACT DOCUMENTS INCLUDING REMOVING OR RELOCATING DEVICES, WIRING OR OTHER APPURTENANCES NO LONGER APPROPRIATE FOR THE NEW USE OF THE ROOM.
- MAINTAIN EXISTING FINISHES, OPERATIONAL CHARACTERISTICS, AND APPEARANCE OF ITEMS SCHEDULED TO REMAIN OR TO BE REUSED.
- IF MATERIALS ARE ENCOUNTERED DURING THE COURSE OF DEMOLITION/RENOVATION THAT APPEAR TO BE ASBESTOS-CONTAINING MATERIAL, AND WHICH ARE NOT IDENTIFIED IN THE ARCHITECT'S DRAWINGS, THE CONTRACTOR SHALL STOP WORK IN THAT AREA AND THE OWNER IS TO BE NOTIFIED SO THAT THE MATERIAL CAN BE TESTED BY THE OWNER.
- CUT AND PATCH FLOORS, WALLS AND CEILINGS WHERE REQUIRED TO CONCEAL ANY OF THE FOLLOWING: NEW MECHANICAL, PLUMBING, AND ELECTRICAL COMPONENTS, UNLESS NOTED OTHERWISE. REPAIR CONSTRUCTION TO MATCH ADJACENT FINISHES.
- ALL DIMENSIONS AND AREAS SHOWN ON THIS SHEET ARE APPROXIMATE FOR REFERENCE ONLY, AND MUST BE FIELD-VERIFIED PRIOR TO EXECUTION OF DEMOLITION WORK.
- REGARDING EXISTING WALLS TO BE REMOVED, CONTRACTOR SHALL COORDINATE WITH SELECTIVE DEMOLITION AND NEW CONSTRUCTION REQUIREMENTS.
- EXISTING PLANS ARE BASED ON ORIGINAL CONSTRUCTION DRAWINGS AND CAD DRAWINGS PROVIDED BY THE OWNER. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE DEMOLITION BEGINS.
- CONFIRM WITH OWNER PRIOR TO REMOVAL OF EXISTING WALL-MOUNTED MARKERBOARDS / TELEVISIONS / EQUIPMENT AS REQUIRED IN AREAS OF NEW WORK.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR, AND HAVE CONTROL OVER, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT. THE CONTRACT DOCUMENTS DO NOT GIVE SPECIFIC INSTRUCTIONS CONCERNING THESE MATTERS.
- OWNER WILL REMOVE AND ABATE ALL WALL SIGNAGE IN AREA OF WORK TO BE REMOVED, TYP.
- DEMOLITION SHALL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF PROTECTION PROVIDED FOR THE MEANS OF EGRESS IN THE OCCUPIED PORTIONS OF BUILDING.
- DEMOLITION SHALL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF ACCESSIBILITY PROVIDED.
- REGARDING EXISTING WALLS TO BE REMOVED, CONTRACTOR SHALL COORDINATE WITH SELECTIVE DEMOLITION AND NEW CONSTRUCTION REQUIREMENTS.
- REFER TO PLUMBING, MECHANICAL, ELECTRICAL & FIRE PROTECTION DRAWINGS FOR ADDITIONAL SELECTIVE DEMOLITION REQUIRED. REPAIR AREAS TO MATCH EXISTING CONDITIONS WHERE REQUIRED.
- CONTRACTOR IS TO BE AWARE THAT EXISTING DRYWALL WALL, CEILING SYSTEMS, FLOORING ADHESIVES, ETC., LOCATED THROUGHOUT THE STRUCTURE MAY CONTAIN ASBESTOS (ACM) AND REQUIRE HAZARDOUS ABATEMENT. ONLY PERSONNEL LICENSED AND CERTIFIED TO WORK WITH ACM SHALL DISTURB EXISTING DRYWALL, WALL AND CEILING SYSTEMS. CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE OWNER'S ABATEMENT CONTRACTOR FOR ALL RENOVATION AND DEMOLITION ACTIVITIES. ALL PENETRATIONS AND ATTACHMENTS TO EXISTING DRYWALL SHALL BE COORDINATED WITH AND PERFORMED BY THE OWNER/ABATEMENT CONTRACTOR THROUGHOUT ALL PHASES OF THE PROJECT, TO INCLUDE INSTALLATION OF MECHANICAL SYSTEM PIPING AND DUCTWORK, REMOVAL OF EXISTING SUSPENDED CEILING PERIMETER TRACKING ATTACHED TO EXISTING DRYWALL AND INSTALLATION OF NEW SUSPENDED CEILING TRACKING ON EXISTING DRYWALL, ETC. CONTRACTOR SHALL INCLUDE IN BASE BID COSTS ASSOCIATED WITH THE COORDINATION AND SEQUENCING OF THESE TASKS WITH THE OWNER.
- EXISTING WINDOW BLINDS TO REMAIN. PROTECT DURING RENOVATION. REMOVE AND REINSTALL AS NECESSARY TO ACCOMMODATE NEW WORK. COORDINATE WITH OWNER TO RECEIVE SPECIFICATION FOR NEW BLINDS IN AREAS WHERE BLINDS ARE INOPERABLE AND DUCTWORK, REMOVAL OF EXISTING SUSPENDED CEILING PERIMETER TRACKING ATTACHED TO EXISTING DRYWALL AND INSTALLATION OF NEW SUSPENDED CEILING TRACKING ON EXISTING DRYWALL, ETC. CONTRACTOR SHALL INCLUDE IN BASE BID COSTS ASSOCIATED WITH THE COORDINATION AND SEQUENCING OF THESE TASKS WITH THE OWNER.
- CONFIRM WITH OWNER PRIOR TO REMOVAL ANY PROJECTORS, SPEAKERS, AND OTHER AV EQUIPMENT.
- REMOVE WALL BOX/FIXTURES AFTER VERIFYING IF NO LONGER IN USE.

SHEET NOTES

- REMOVE WALLS AND ANY EXISTING DOORS/FRAMES/HARDWARE/ ACCESSORIES/FIXTURES TO EXTENT INDICATED.
- REMOVE EXISTING DOOR, FRAME, AND HARDWARE. SEE PLANS FOR LOCATIONS OF DOORS, OPENINGS, OR INFILL WALLS AS OCCURS.
- REMOVE EXISTING DOOR & HARDWARE. REFER TO NEW WORK DRAWINGS FOR NEW DOOR & HARDWARE.
- REMOVE ALL EXISTING WALL COVERING, CARPET FLOORING AND BASE FROM ROOM. NEW FLOORING AND BASE BY OTHERS.
- REMOVE ALL EXISTING VCT/TILE FLOORING AND BASE FROM ROOM OR EXTENTS SHOWN. NEW FLOORING AND BASE BY OTHERS.
- REMOVE EXISTING CASEWORK/SHELVING. REPAIR WALLS TO RECEIVE NEW FINISHES.
- REMOVE ALL EXISTING PLUMBING FIXTURES, COUNTERS, PARTITIONS AND LIGHTING FIXTURES IN PREPARATION FOR NEW WORK.
- CUT TEMPORARY ACCESS OPENINGS IN FLOOR. COORDINATE LOCATIONS WITH OWNER. REFER TO NEW WORK DRAWINGS.
- REMOVE EXISTING RAISED FLOOR SYSTEM, STAIRS, AND RAILING. REPAIR WALLS AND/OR INSTALL GYPSUM WALLBOARD AS NECESSARY TO RECEIVE NEW FINISHES.
- REMOVE FOLDING PARTITION AND CEILING TRACK IN ITS ENTIRETY.
- REMOVE EXISTING MECHANICAL/ELECTRICAL CASEWORK.
- REMOVE ALL EXISTING FINISHES IN ROOM. REFER TO NEW WORK PLANS FOR NEW FINISHES IN SPACE.
- REMOVE EXISTING TACKBOARDS/MARKER BOARDS/PROJECTION SCREENS. STORE AND PROTECT FOR USE IN NEW WORK.
- REMOVE EXISTING ACOUSTICAL TILE CEILING SYSTEM, SOFFITS, AND ALL FRAMING AND SUPPORT WIRING. REFER TO GENERAL DEMOLITION NOTES FOR ADDITIONAL CEILING DEMOLITION.
- EXISTING CARPET AND TILE FLOOR TO BE REMOVED BY OWNER/OWNER'S ABATEMENT CONTRACTOR.
- PRIOR TO DEMOLITION, CONDUCT PRE-DEMOLITION CONFERENCE WITH THE OWNER TO COORDINATE GENERAL CONTRACTORS' DEMOLITION WORK AND THE OWNER'S ABATEMENT CONTRACTOR'S SCOPE.
- FULLY REMOVE EXISTING WALLS, CASEWORK, ELECTRICAL AND PLUMBING ASSOCIATED WITH THE WET BAR ISLAND; REMOVE CEILING ASSEMBLY WITHIN THE FOOTPRINT OF THE ISLAND WHERE DEMOLITION OCCURS TO THE EXTENT NEEDED.

HIPP BLDG.

CLOSE BLDG.



CLOSE HIPP  
EVENT SPACE  
RENOVATION

PROJECT NO.:  
H27-Z340



LS3P ASSOCIATES LTD.  
701-A LADY STREET COLUMBIA, SC 29201  
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REVISIONS:

No.	Description	Date
1	ADDENDUM NO. 1	10/17/2019
2	ADDENDUM NO. 2	10/24/2019

PROJECT: 2202-193400  
DATE: 09/24/19

8TH FLOOR PLAN  
DEMOLITION

AD-108



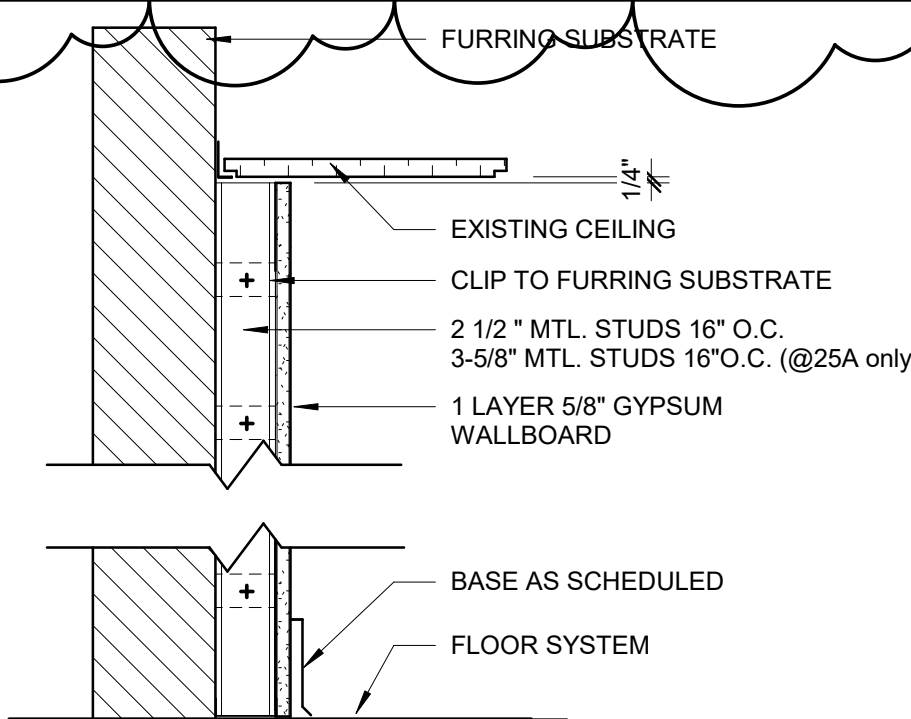
## ALTERNATES

1. IN LIEU OF VWC-1, VWC-2, VWC-3, VWC-4 WHERE INDICATED PROVIDE PRO INDUSTRIAL PRE-CATALYZED WATER BASED EPOXY PAINT. CORRESPONDING PAINT COLORS TO BE PROVIDED BY LS3P IF ALTERNATE ACCEPTED BY OWNER.
2. IN LIEU OF MANUAL ROLLER SHADES AT EXTERIOR WINDOWS INDICATED DO NOT PROVIDE. SEE SHEET NOTE 3.

## DOOR AND FRAME SCHEDULE - 8th FLOOR RENOVATION

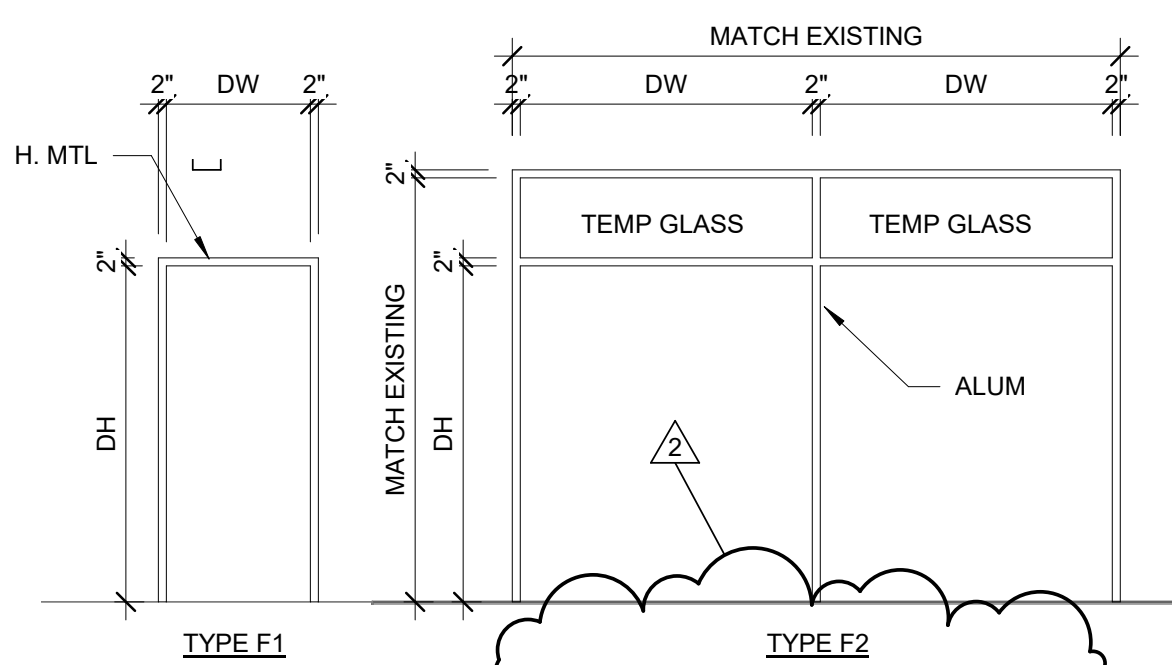
DOOR NUMBER	MATL	TYPE	FINISH	SIZE	HARDWARE SET	DOOR LABEL	MATL	TYPE	FINISH	HEAD	JAMB	SILL	REMARKS
8TH FLOOR													
800.1 *	AL	D2	CLR ANOD	(PR) 36" x 84"	1.0		AL	F2	CLR ANOD	D1/A711	D1/A711		RENOV
800.2 *	AL	D2	CLR ANOD	(PR) 36" x 84"	1.0		AL	F2	CLR ANOD	D1/A711	D1/A711		RENOV
829.1	WD	D1	STAIN	3'-0" X 7'-0"	3.0		HM	F1	PT	C1/A711	B1/A711		RENOV
829.2	WD	D1	STAIN	3'-0" X 7'-0"	2.0		HM	F1	PT	C1/A711	B1/A711		RENOV
841.1	WD	D3	STAIN	(PR) 36" x 84"	4.0		HM	F1	PT	C1/A711	B1/A711		RENOV

\* - DOOR WIDTH INDICATED IN SCHEDULE IS APPROXIMATE, CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND MATCH EXISTING DOOR WIDTHS.



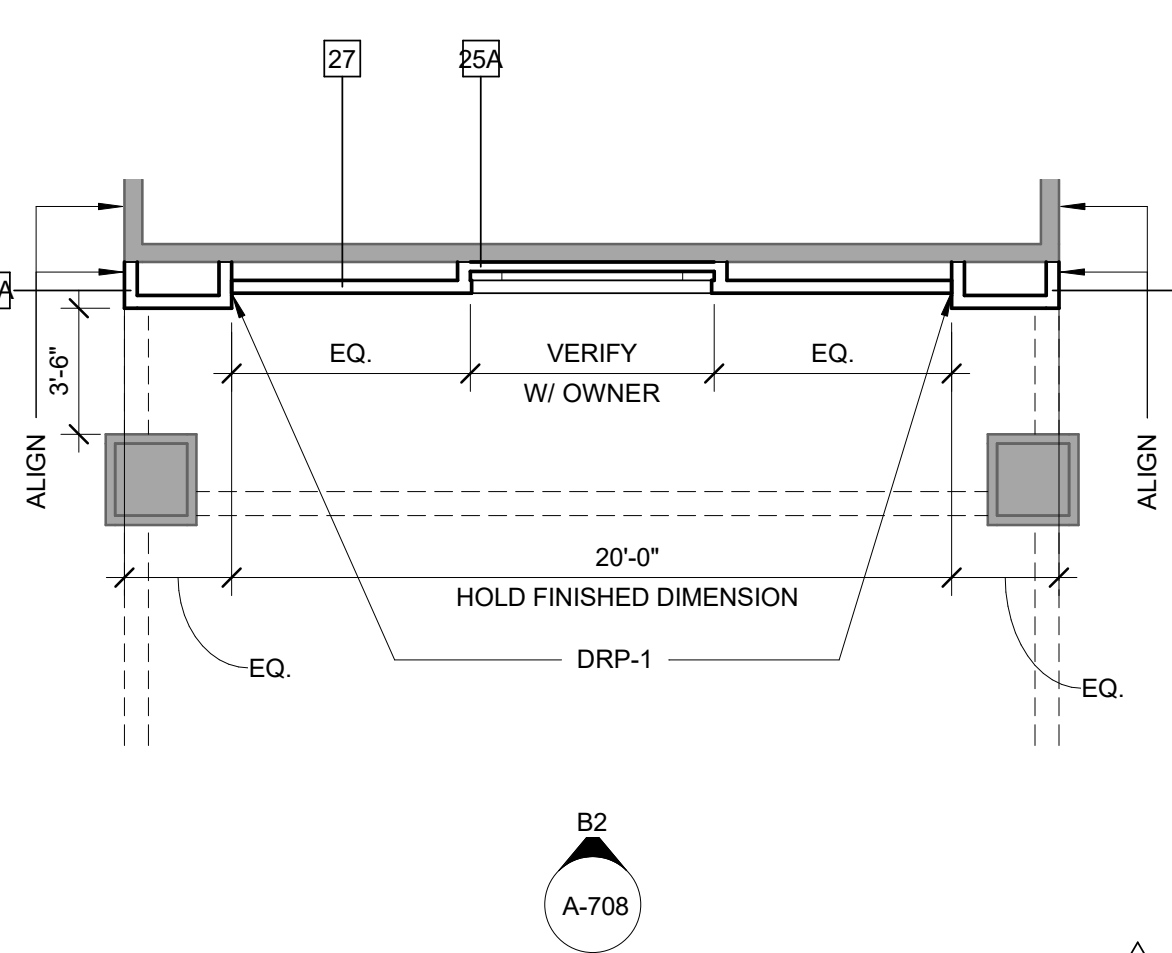
## D2 DOOR ELEVATIONS

1/4" = 1'-0"



## C2 DOOR FRAME ELEVATIONS

1/4" = 1'-0"



25, 25A	FIRE RATING	UL TEST NO.	STC RATING - N/A
	N/A	N/A	N/A

27	FIRE RATING	UL TEST NO.	STC RATING - N/A
	N/A	N/A	N/A

31	FIRE RATING	UL TEST NO.	STC RATING - N/A
	N/A	N/A	45

## B1 PARTITION TYPES

1 1/2" = 1'-0"

## B2 ENLARGED PLAN - ENTRY AREA

3/16" = 1'-0"

## B3 8TH FLOOR PLAN-RENOVATION

3/32" = 1'-0"

## INTERIOR FINISH LEGEND

TAG	DESCRIPTION	MANUFACTURER	PATTERN NAME / #	COLOR NAME / #	SIZE	REMARKS	REP. CONTACT
ACT-1	ACOUSTICAL CEILING TILE	ARMSTRONG	FINE FISSURED HIGH NRC #1728	WHITE	24"x24"x5/8"	REFER TO DRAWINGS FOR LOCATIONS	WRBURGOWALD@ARMSTRONGCEILINGS.COM 803-212-6217
ACT-2	ACOUSTICAL CEILING TILE	ARMSTRONG	FINE FISSURED HIGH NRC #1728	WHITE	24"x24"x5/8"	REFER TO DRAWINGS FOR LOCATIONS	WRBURGOWALD@ARMSTRONGCEILINGS.COM 803-212-6217
DRP-1	DECORATIVE PANEL	MDC DIMENSION WALLS	INTERLOCK DWP-174-14	ETERNAL SILVER	6'x6'	REFER TO INTERIOR ELEVATION AND SECTION DETAILS. SUBSTRATE TO MOUNT PANEL SHOULD BE NEW, CLEAN, DUST-FREE, UNPRIMED UNPAINTED GYPSUM WALLBOARD. USE TYPE BOD GREEN CHECK FAST GRAB FRP PANEL ADHESIVE.	DEBORA.SMITH@MCMWALLS.COM 803-984-4476
EPT-1	EPOXY PAINT	SHERWIN WILLIAMS	--	CREAMY SW7012 - SATIN FINISH		PROVIDE (1) PRIMER COAT (SHERWIN WILLIAMS MULTI-PURPOSE LATEX PRIMER/SEALER) & (2) FINISH COATS OF PRO INDUSTRIAL, PRE-CATALYZED WATER BASED EPOXY	
EPT-2	EPOXY PAINT	SHERWIN WILLIAMS	--	ELLIE GRAY SW7650 - SATIN FINISH		PROVIDE (1) PRIMER COAT (SHERWIN WILLIAMS MULTI-PURPOSE LATEX PRIMER/SEALER) & (2) FINISH COATS OF PRO INDUSTRIAL, PRE-CATALYZED WATER BASED EPOXY	
ETR	EXISTING FINISH TO REMAIN						
GRT-1	GROUT	LATICRETE		78 STERLING SILVER	3/16"	ALIGN TILE GROUT JOINTS AT BASE AND FLOOR	
HMF-1	HOLLOW METAL FRAME	SEE REMARKS - SEMI-GLOSS FINISH				PROVIDE (1) PRIMER COAT (SHERWIN WILLIAMS MULTI-PURPOSE LATEX PRIMER/SEALER) & (2) FINISH COATS OF PRO INDUSTRIAL, PRE-CATALYZED WATER BASED EPOXY. NO VISIBLE BRUSH MARKS. PAINT FRAME TO MATCH ADJACENT WALL PAINT COLOR. IN SPACES WITH WALLCOVERING VWC-1 PROVIDE PAINT TO MATCH EPX-1-1, VWC-2 PROVIDE PAINT TO MATCH EPX-2	
MIR-1	MIRROR	BOBRICK	B-165 SERIES	CHANNEL-FRAME	24"W x 36"H	SEE DRAWINGS FOR LOCATION. VERIFY IN FIELD ALL DIMENSIONS.	
MRS-1	MANUAL ROLLER SHADE	HUNTER DOUGLAS RB500 MANUAL ROLLER SHADES	SHEERWEAVE 7000	SHADE GRAPHITE (0% OPENNESS) - VALANCE TO BE BRONZE			
PTF-1	PORCELAIN TILE FLOOR	ROCA TILE USA		ORION NIEVE UNPOLISHED	12"x24"	33% OFFSET INSTALLATION	RICHARD@PALMETTOTILE.COM 803-206-7156
PTW-1	PORCELAIN TILE WALL	ROCA TILE USA		ORION NIEVE UNPOLISHED	12"x24"	33% OFFSET INSTALLATION	RICHARD@PALMETTOTILE.COM 803-206-7156
SS-1	SOLID SURFACE	CORIAN	--	WHIPPED CREAM		RESTROOM SINK COUNTERTOP/BACKSPLASH	
TPT-1	TOILET PARTITIONS	PARTITIONS SYSTEMS INTERNATIONAL OF SOUTH CAROLINA	PLASTIC LAMINATE CLAD SOLID PHENOLIC CORE	4820-60 CARBON EVOLUTION		RESTROOM TOILET PARTITIONS	
TR-1	TACK RAIL	KOROSEAL		CLEAR SATIN ANODIZED ALUMINUM FRAME TAC-WALL HARBOR 48 STRIP	1"	TACKABLE SURFACE REFER TO MANUF. INSTRUCTIONS FOR INSTALLATION. INSTALL TWO ROWS OF TACK RAILS. ROW 1 INSTALL 3'-1" AFF. ROW 2 INSTALL 6'-10" AFF. CONFIRM WITH OWNER.	
VF-1	VINYL FILM	3M	FASARA GLASS FINISHES			DIGITALLY CUTTABLE FILM FOR SIGNAGE AT SUITE ENTRY DOORS	
VWC-1	VINYL WALLCOVERING	MOMENTUM WALLCOVERINGS D.L. COUCH	LANARK WATERCOLOR SILK L2-WA-05	AURA	54"	TYPE II WALLCOVERING 20 OZ.	MLAWRENCE@MOMTEX.COM 800.366.6839 X341
VWC-2	VINYL WALLCOVERING	MOMENTUM WALLCOVERINGS D.L. COUCH	LANARK WATERCOLOR SILK R2-BC-22	COASTAL	54"	TYPE II WALLCOVERING 20 OZ.	MLAWRENCE@MOMTEX.COM 800.366.6839 X341
VWC-3	VINYL WALLCOVERING	WOLF GORDON	HIGH FIDELITY	AZ52547HF INDIGO BLUE	54"	TYPE II WALLCOVERING 20 OZ. REVERSE HANG RANDOM MATCH	MICHELLE.HODGES@WOLFGORDON.COM 704-674-6591
VWC-4	VINYL WALLCOVERING	WOLF GORDON	HIGH FIDELITY	AZ52548HF RUNWAY EMERALD	54"	TYPE II WALLCOVERING 20 OZ. REVERSE HANG RANDOM MATCH	MICHELLE.HODGES@WOLFGORDON.COM 704-674-6591

## SHEET NOTES

1. CONSTRUCT NEW FURRED WALL/WALL TO THE EXTENT INDICATED. REFER TO WALL TYPES.
2. PROVIDE AND INSTALL PORCELAIN WHITE BOARD.
3. PROVIDE AND INSTALL NEW WINDOW ROLLER SHADES ON ALL WINDOWS ON THIS ELEVATIONS. REFER TO INTERIOR FINISH LEGEND BELOW. SEE ALTERNATE #2.
4. PROVIDE AND INSTALL NEW STOREFRONT DOOR ENTRY. SEE SCHEDULE.
5. PROVIDE AND INSTALL NEW DOOR. SEE SCHEDULE.
6. REWORK EXISTING BREAK OUT & REACUSTICAL CEILING SYSTEM AT NEW DOOR 841.1 AS INDICATED.
7. NEW ACOUSTICAL TILE CEILING AND GRID. REFER TO B1/A-708.
8. OWNER PROVIDED CONTRACTOR INSTALLED NEW PROJECTORS AND PROJECTION SCREENS. BOD PROJECTION SCREENS ARE DA-LITE SKU02620 AND SKU02619. THE PROJECTOR SUPPORT BRACKET BOD CHIEF CMO330. CONTRACTOR IS TO SUPPLY AND INSTALL ALL SUPPORT EQUIPMENT TO UNDERSIDE OF ROOF DECK. ANCHOR EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL ELECTRICAL AND DATA RACEWAYS FOR THE FULL OPERATION OF THE EQUIPMENT. COORDINATE WITH OWNER AS TO LOCATIONS OF EQUIPMENT AND CONTROLS.
9. PROVIDE TEMPORARY ACCESS OPENING IN FLOOR OF CLASSROOM UPPER TIER TO FACILITATE THE INSTALLATION OF DATA/POWER OUTLETS FOR SEATING AREA. TEMPORARILY REMOVE UPPER CARPET AND CUT OPENING IN SUBFLOOR NECESSARY FOR THE INSTALLATION OF ELECTRICAL WORK UNDER TIRED SEATING. CLOSE OPENING IN SUBFLOOR SECURELY AND REINSTALL CARPETING.
10. PROVIDE TEMPORARY ACCESS OPENING IN FLOOR FOR PODIUM WIRING.
11. PREP, PRIME, AND PAINT EXISTING WOOD CLADDING.
12. OWNER PROVIDED CONTRACTOR INSTALLED NEW PROJECTORS AND PROJECTION SCREENS. BOD PROJECTION SCREENS ARE DA-LITE SKU02620 AND SKU02619. THE PROJECTOR SUPPORT BRACKET BOD CHIEF CMO330. CONTRACTOR IS TO SUPPLY AND INSTALL ALL SUPPORT EQUIPMENT TO UNDERSIDE OF ROOF DECK. ANCHOR EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. PROVIDE ALL ELECTRICAL AND DATA RACEWAYS FOR THE FULL OPERATION OF THE EQUIPMENT. COORDINATE WITH OWNER AS TO LOCATIONS OF EQUIPMENT AND CONTROLS.
13. PAINT NEW WALL SHERWIN WILLIAMS SW7012 CREAMY TO MATCH EXISTING.
14. EXISTING FABRIC WRAPPED WALL TO REMAIN AS-IS.
15. REWORK EXISTING ACOUSTICAL CEILING SYSTEM AS REQUIRED PER NEW BAR DEMOLITION. PROVIDE ACT-1 (2'x2' TILE).
16. REWORK EXISTING ACOUSTICAL CEILING SYSTEM AS REQUIRED PER VET CONFIGURATION. PROVIDE ACT-2 (2'x4' TILE).

## ROOM FINISH TAG LEGEND

ROOM NAME	ROOM NUMBER	NOTE: IF TETR SHOWN THIS DENOTES EXISTING FINISH TO REMAIN.
PNT-1	Deadlock	PROTECT DURING RENOVATION/CONSTRUCTION. IF "L" SHOWN THIS DENOTES SURFACE TO BE PREPARED AND INSTALLED BY OTHERS.
RBS-1	Permanent Core	
OPT-1	Door Closer	
1,2,4	Kick Plate	

## LEGEND

AREA NOT IN CONTRACT

## HARDWARE SETS

HW SET # 1.0	TA43768	US26D	MK
Hinge	4085	603	AD
1 Header Bolt	MS1060	626	OT
1 SFC Cylinder	AS REQUIRED (MATCH EXIST)	626	OT
1 Permanent Core	DC5210 A4	689	RU
1 Door Closer	RM3312-72 x MP BTB MTG 16	US32D	RO
2 Set Off Set Door Pulls	DC6210 A11 x BRKTS REQUIRED BY DOOR MANUFACTURER	689	RU
2 Door Closer			
2 Kick Plate			
1 Set Door Seals			
HW SET # 2.0	TA2714	US26D	MK
Hinge	ED5200 A95SET	630	RU
1 Rim Exit Device	AS REQUIRED (MATCH EXIST)	626	OT
1 SFC Cylinder	AS REQUIRED (MATCH EXIST)	626	OT
1 Permanent Core	DC5210 A4	689	RU
1 Door Closer	K1050 8" high HVBEV CSK	US32D	RO
1 Kick Plate	S88D		
1 Set Door Seals			
HW SET # 3.0	TA2714	US26D	MK
Hinge	ED5470 A95SET M55	630	RU
1 Rim Exit Device	ED5470 A95SET M55	630	RU
1 SFC Cylinder	AS REQUIRED (MATCH EXIST)	626	OT
1 Permanent Core	DC5210 A4	689	RU
1 Door Closer	K1050 8" high HVBEV CSK	US32D	RO
1 Kick Plate	S88D		
1 Set Door Seals			
HW SET # 4.0	TA2714	US26D	MK
Hinge	ED5470 A95SET M55	630	RU
1 Rim Exit Device	ED5470 A95SET M55	630	RU
1 SFC Cylinder	AS REQUIRED (MATCH EXIST)	626	OT
1 Permanent Core	DC5210 A4	689	RU
1 Door Closer	K1050 8" high HVBEV CSK	US32D	RO
1 Kick Plate	S88D		
1 Set Door Seals			

## MANUFACTURERS ABBREVIATIONS:

1. MK - McKinney
2. AD - Adams Rite
3. RU - Corbin Russwin
4. OT - OTHER
5. RO - Rockwood
6. RF - Reason
7. PE - Perko

## GENERAL PARTITION NOTES

- THE CONSTRUCTION SUBSYSTEMS AND PARTITION TYPES SHOWN, INDICATE THE GENERAL CONSTRUCTION FEATURES OF THE MAJORITY OF THE CONSTRUCTION SYSTEMS TO BE PROVIDED. THEY ARE NOT INTENDED TO REPRESENT A COMPLETE LISTING OF SYSTEMS REQUIRED AND DO NOT NECESSARILY INDICATE ALL OF THE CONSTRUCTION REQUIREMENTS TO BE PROVIDED BY THE CONTRACT DOCUMENTS.
- REFERENCE FOR FIRE RESISTANCE & SOUND RATINGS:  
CCMA: CAROLINAS CONCRETE MASONRY ASSOCIATION. CONCRETE MASONRY HANDBOOK. SOUND CONTROL.  
GA: GYPSUM ASSOCIATION. FIRE RESISTANCE DESIGN MANUAL. ELEVENTH EDITION  
NEMA: NATIONAL CONCRETE MASONRY ASSOCIATION. TEK NOTES  
SA: SHINER AND ASSOCIATES  
UL: UNDERWRITERS LABORATORY, INC. FIRE RESISTANCE DIRECTORY
- SEE FLOOR PLANS FOR PARTITION FIRE RATINGS, ADDITIONAL PARTITION REQUIREMENTS AND/OR DIMENSIONS.
- SEE FINISH SCHEDULE FOR LOCATION OF APPLIED FINISHES (SUCH AS CERAMIC TILE, WALL COVERING, ETC) THAT MAY AFFECT THE PARTITION SURFACE AND CONSTRUCTION REQUIREMENTS.
- WHERE CERAMIC TILE AND CEMENTITIOUS BACKER UNIT ARE NOT SCHEDULED TO BE FULL HEIGHT OF PARTITION, PROVIDE GYPSUM BOARD (TYPE X G) RATED PARTITIONS @ THOSE PORTIONS OF THE PARTITION NOT SCHEDULED TO RECEIVE CERAMIC TILE. CEMENTITIOUS BACKER UNIT TO BE SAME THICKNESS AS GYPSUM BOARD.
- PROVIDE MANUFACTURER'S PROPRIETARY TYPE X GYPSUM BOARD (MEETING THE DESIGNATED FIRE RATING LISTED) WHERE PARTITION IS INDICATED TO BE FIRE RATED ON PLANS. RATED PARTITION TO MEET CONSTRUCTION REQUIREMENTS OF FIRE RATING REFERENCE LISTED.
- PROVIDE ACOUSTICAL SEALANT AT PERIMETER OF ALL SOUND RATED PARTITIONS AND AT ALL PARTITION PENETRATIONS. IF PARTITION IS FIRE RATED, PROVIDE UL LABELED FIRESTOPPING IN PLACE OF ACOUSTICAL SEALANT. AT PARTITIONS THAT ARE SOUND AND FIRE RATED, PROVIDE ACOUSTICAL SEALANT AT PARTITION PENETRATIONS THAT DO NOT REQUIRE FIRESTOPPING (EXAMPLE: DUCT PENETRATIONS WITH FIRE DAMPERS). REFER TO ACOUSTICAL PENETRATION AND FIRESTOPPING DETAILS ON A-506.

## KEY PLAN

HIPP BLDG.

CLOSE BLDG.



CLOSE HIPP  
EVENT SPACE  
RENOVATION

PROJECT NO.:  
H27-Z340



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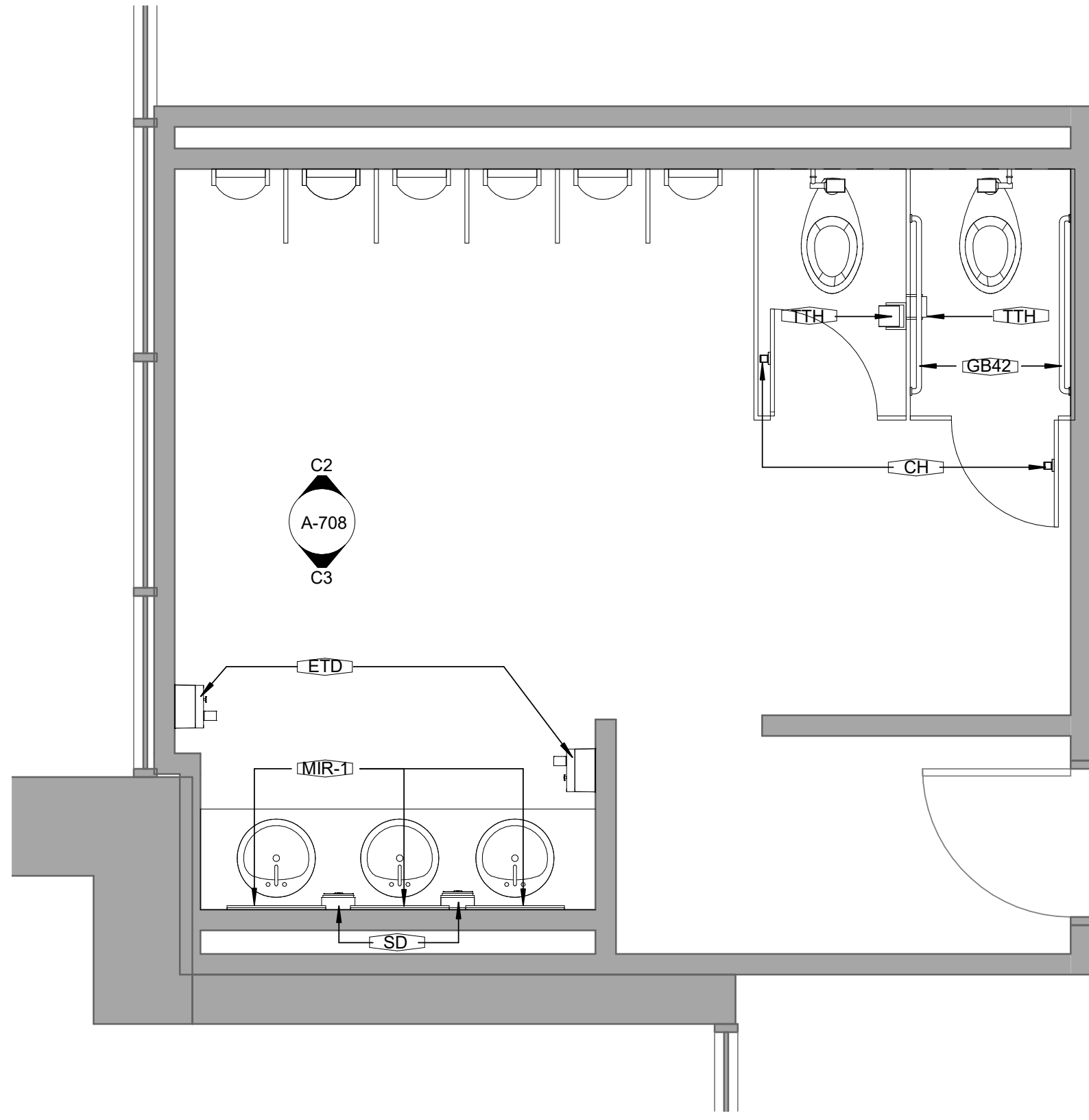
## REVISIONS:

No.	Description	Date
1	ADDENDUM NO. 1	10/17/2019
2	ADDENDUM NO. 2	10/24/2019

PROJECT: 2202-193400  
DATE: 09/24/19

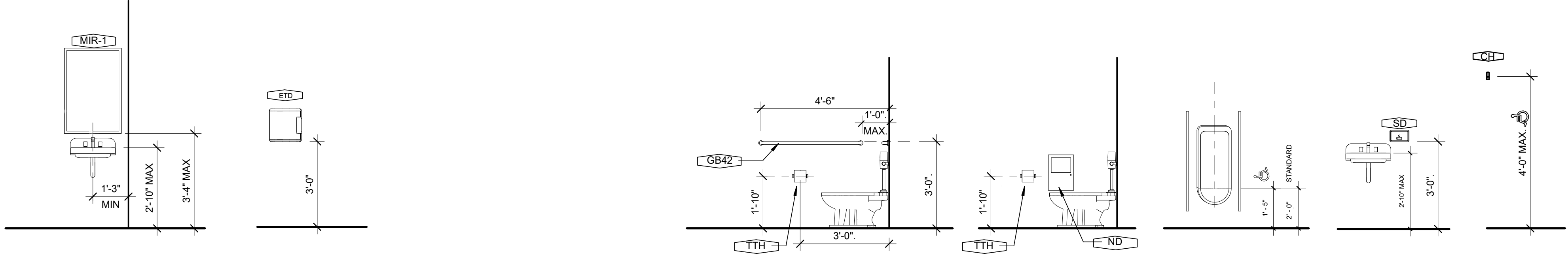
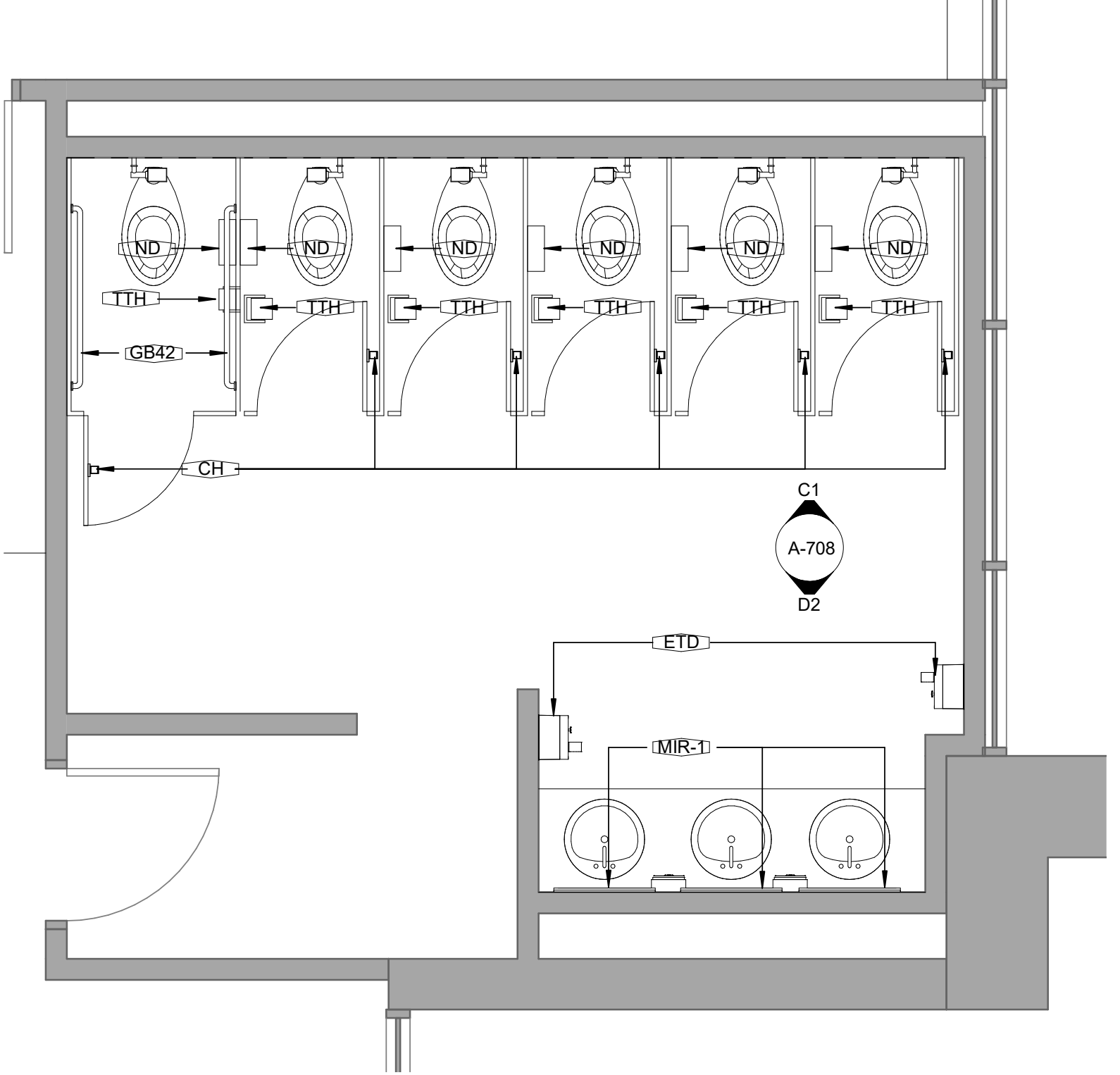
8TH FLOOR PLAN -  
RENOVATIONS,  
SCHEDULES AND  
PARTITION TYPES

A-108



TOILET ACCESSORIES LEGEND		
GB42	42" GRAB BAR	BX-GRAB BAR 1-1/2"ODx 42"-STRAIGHT- CONCEALED FLANGE MODEL 8120-001420
MIR-1	36" X 24" MIRROR	REFER TO SCHEDULE ON A-108
ND	NAPKIN DISPOSAL UNIT	BX-NAPKIN DISPOSAL- SURFACE MT MOUNT-HINGED COVER MODEL 4781-110000
ETD	ELEC TOWEL DISPENSER	BX- ELECTRONIC ROLL TOWEL DISP 8" WIDE MODEL 2496-000000
SD	LIQUID SOAP DISPENSER	BX-LIQ SOAP DISP SURFACE MT- HORIZONTAL-PLASTIC VALVE 40 OZ. MODEL 6543-000000
TTH	TOILET TISSUE DISPENSER	BX- TOILET TISSUE DISP- SURF MODEL 5A10-110000
CH	COAT HOOK	BX-HOOK & BUMPER- CHROME PL BRASS- EXPOSED MOUNTING MODEL 915-000000

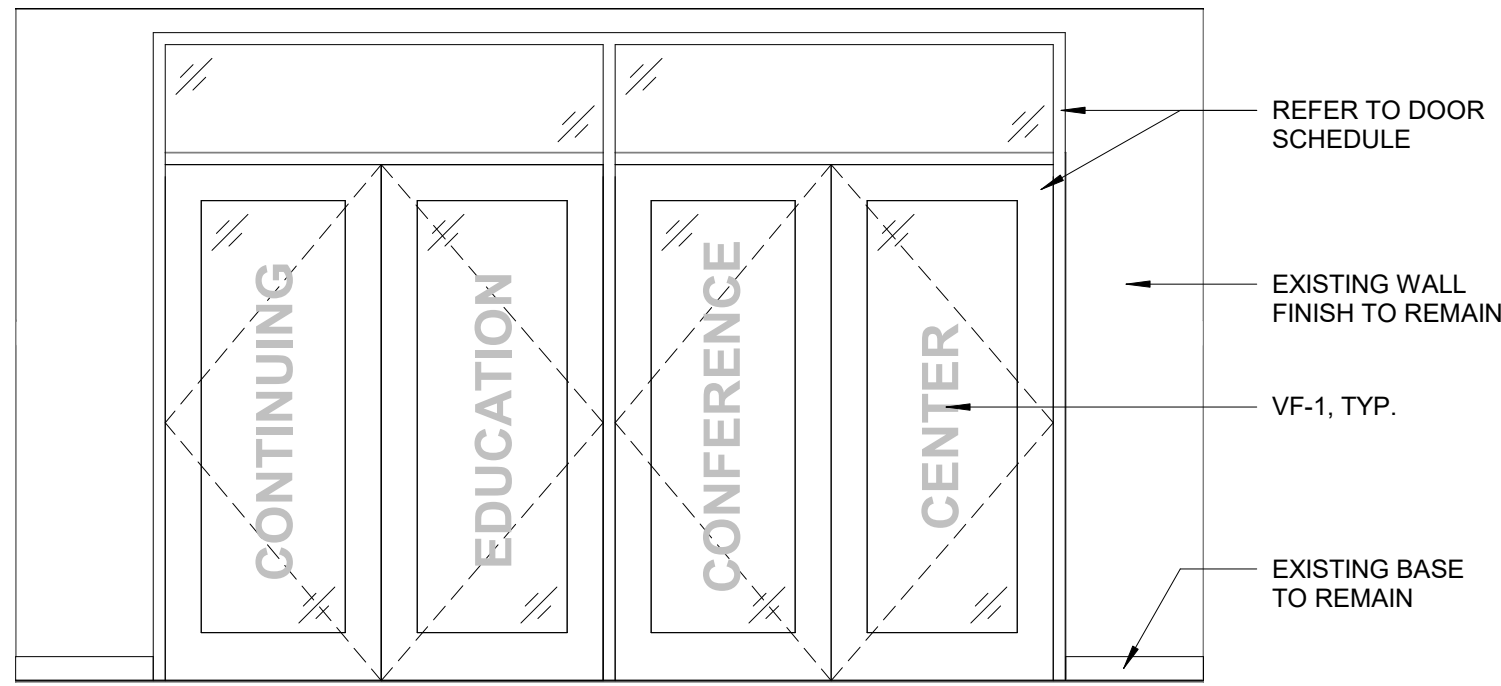
NOTE: BASIS OF DESIGN, "BRADLEY CORPORATION".



TYPICAL TOILET ACCESSORY MOUNTING HEIGHTS  
3/8" = 1'-0"

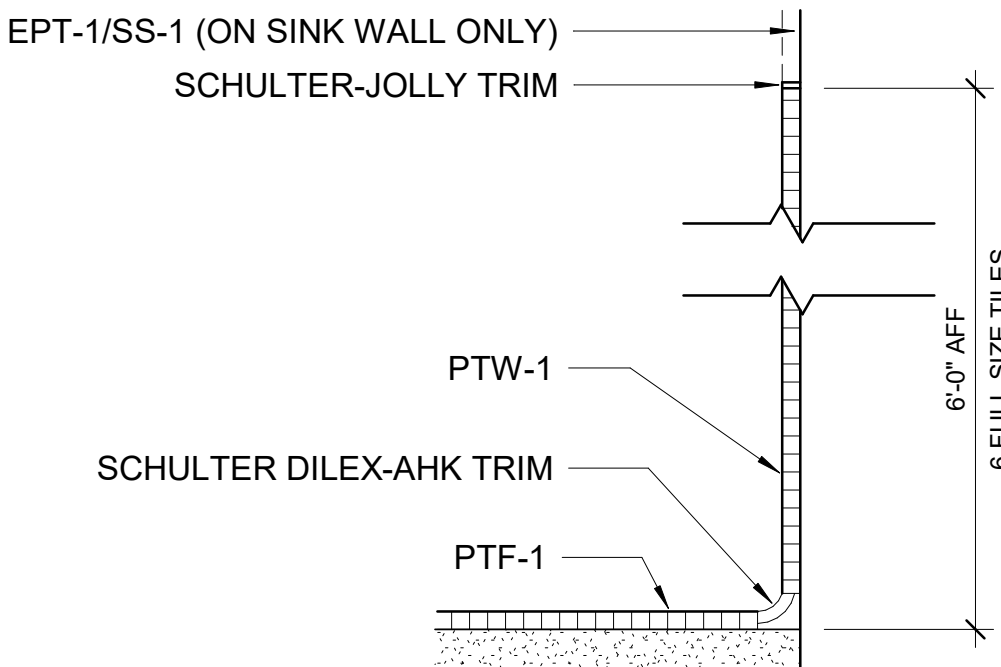


E

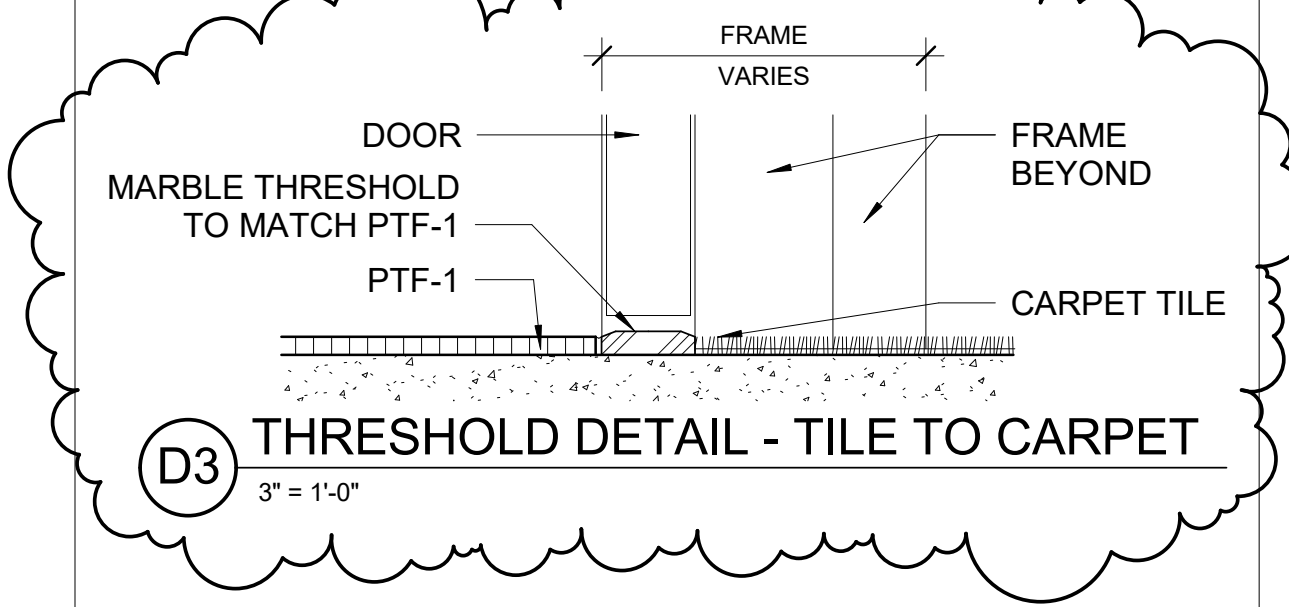


D1 INTERIOR ELEVATION - SUITE ENTRY  
3/8" = 1'-0"

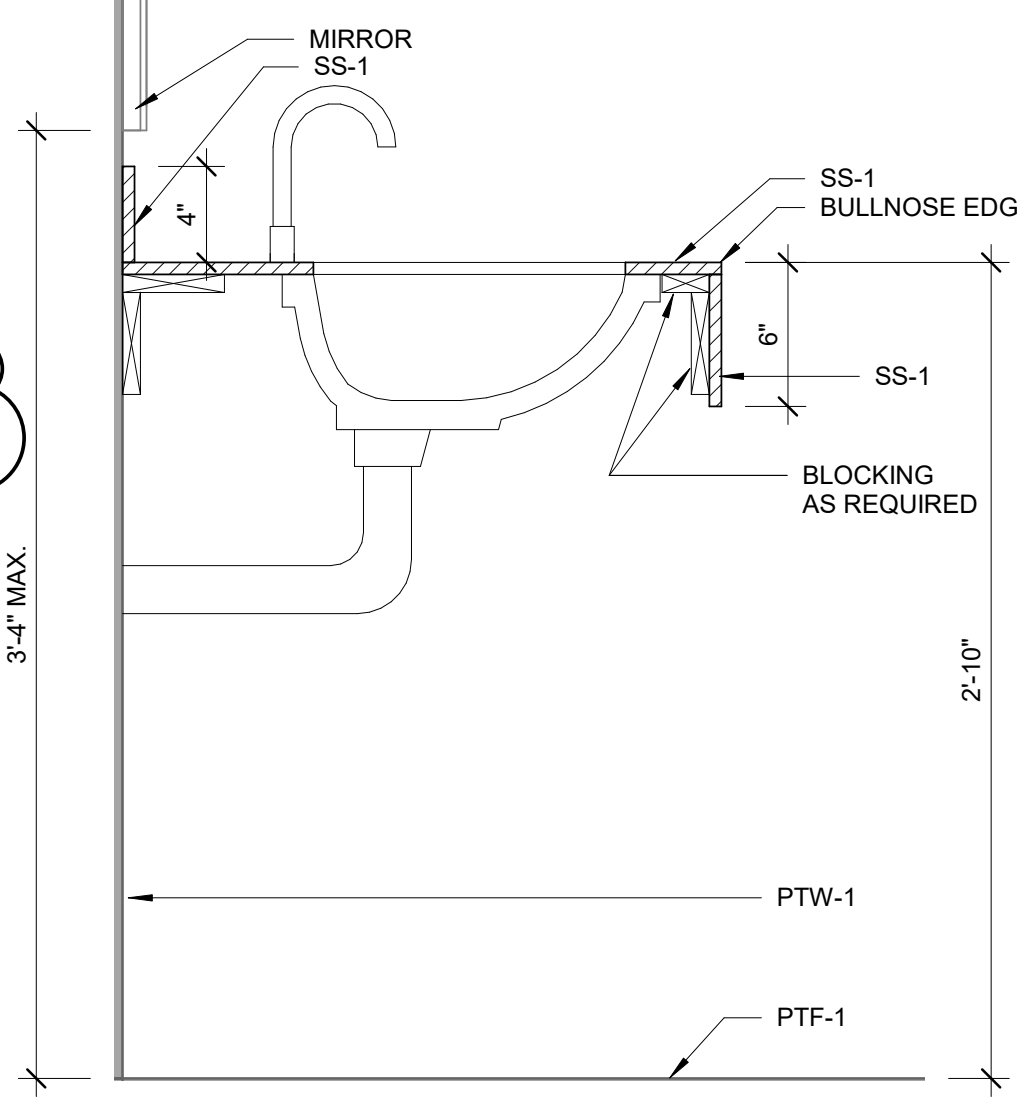
D2 INTERIOR ELEVATION(SINKS) - WOMEN 842  
3/8" = 1'-0"



E3 SECTION DETAIL - RESTROOM TILE  
3" = 1'-0"

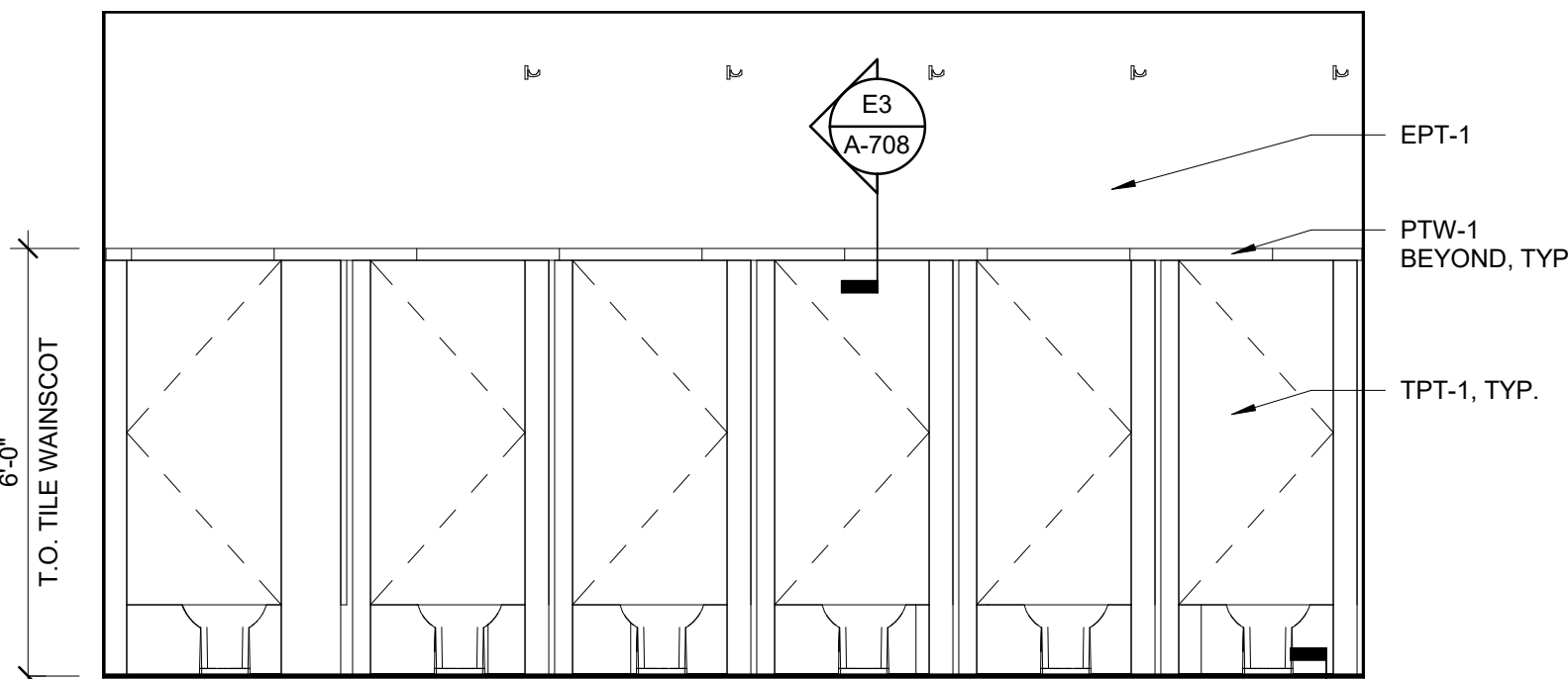


D3 THRESHOLD DETAIL - TILE TO CARPET  
3" = 1'-0"

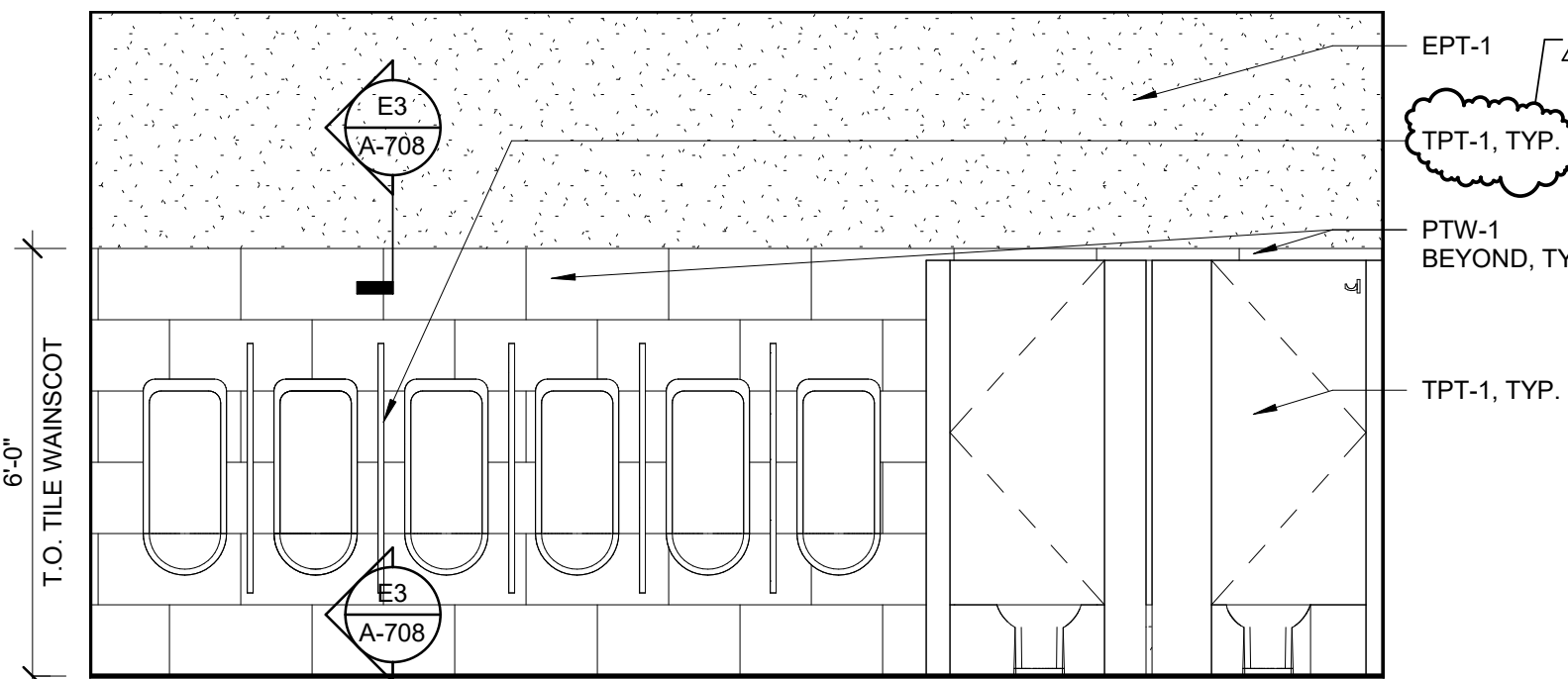


D4 SECTION DTL. - RESTROOM SINK  
1 1/2" = 1'-0"

D

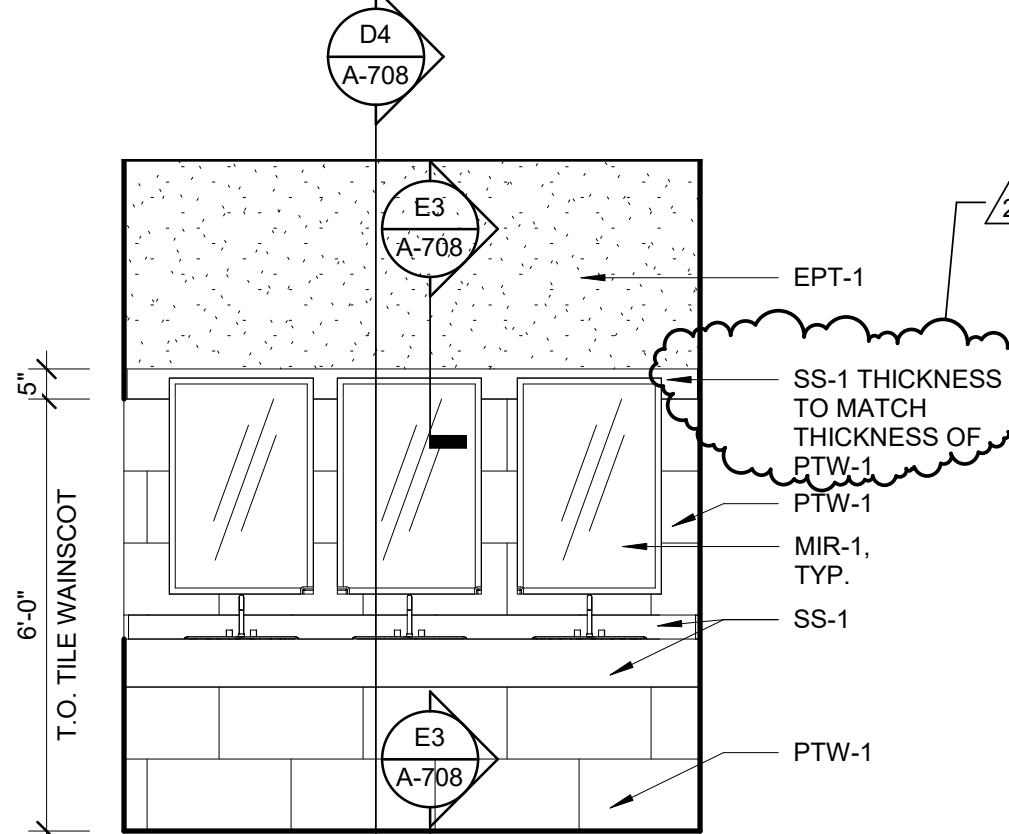


C1 INTERIOR ELEVATION - WOMEN 842  
3/8" = 1'-0"



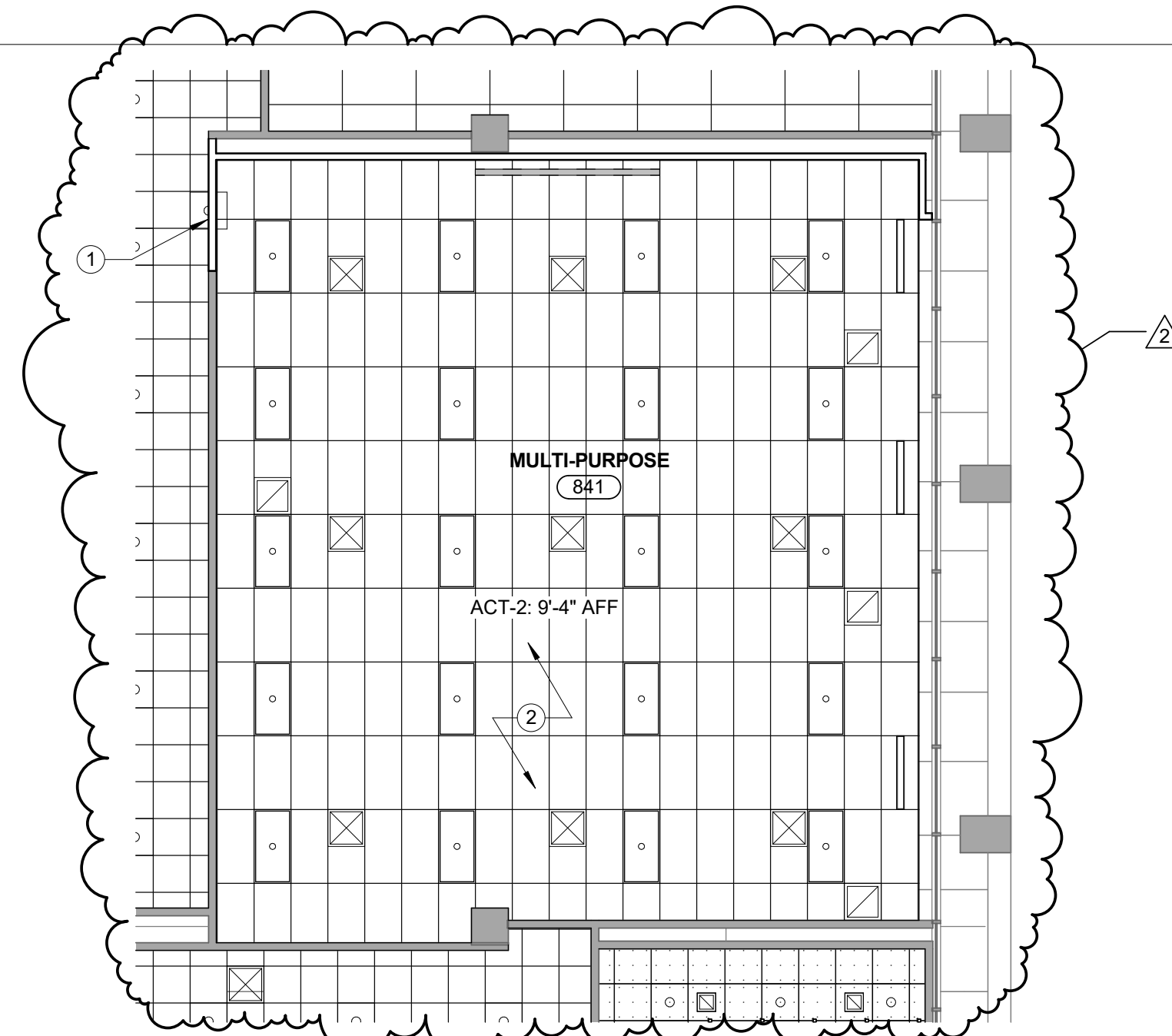
C2 INTERIOR ELEVATION - MENS 834  
3/8" = 1'-0"

E

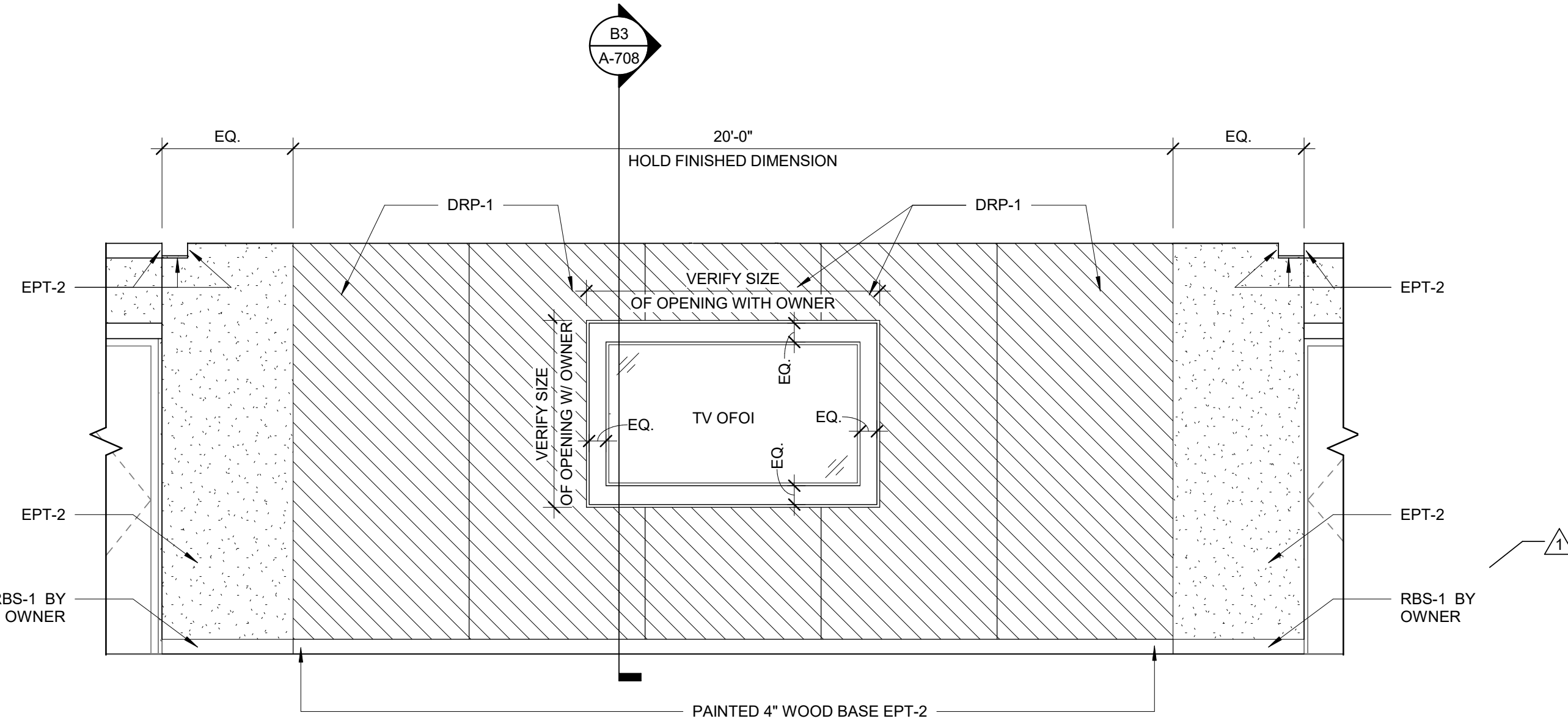


C3 INTERIOR ELEVATION(SINKS) - MENS 834  
3/8" = 1'-0"

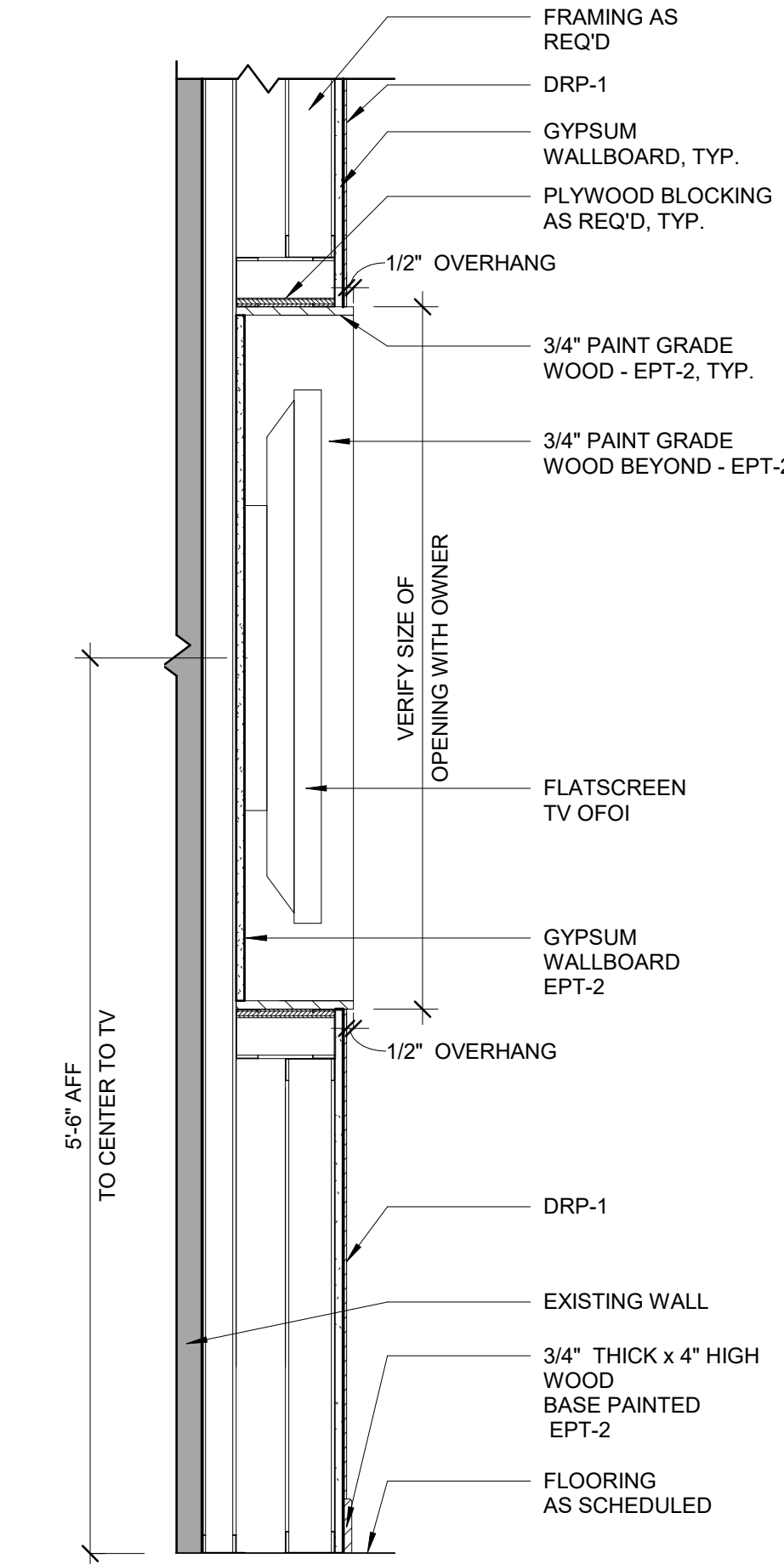
C



B1 REFLECTED CLG PLAN - MULTIPURPOSE RM 841  
1/8" = 1'-0"



B2 INTERIOR ELEVATION - FEATURE WALL H806  
3/8" = 1'-0"



B3 DETAIL SECTION - FEATURE WALL  
1" = 1'-0"

B

A

#### INTERIOR FINISH LEGEND

TAG	DESCRIPTION	MANUFACTURER	PATTERN NAME / #	COLOR NAME / #	SIZE	REMARKS	REP. CONTACT
ACT-1	ACOUSTICAL CEILING TILE	ARMSTRONG	FINE FISSURED HIGH NRC #1728	WHITE	24"x24"x5/8"	REFER TO DRAWINGS FOR LOCATIONS	WRBURGWALD@ARMSTRONGCEILINGS.COM 803-212-8217
ACT-2	ACOUSTICAL CEILING TILE	ARMSTRONG	FINE FISSURED HIGH NRC #1729	WHITE	24"x48"x5/8"	REFER TO DRAWINGS FOR LOCATIONS	WRBURGWALD@ARMSTRONGCEILINGS.COM 803-212-8217
DRP-1	DECORATIVE PANEL	MCCAMMONS WALLS	INTERLOCK DWP4751A14	ETCHED SILVER	4'x10'	REFER TO INTERIOR ELEVATION AND SECTION DETAILS. SUBSTRATE TO MOUNT PANEL SHOULD BE NEW, CLEAN, DUST-FREE UNPRIMED UNPAINTED GYPSUM WALLBOARD. USE TITAN BOND GREEN CHOICE FAST GRAB FRP PANEL ADHESIVE.	DEBRA.SMITH@MCCAMMONSWALLS.COM 800-244-6476
EPT-1	EPOXY PAINT	SHERWIN WILLIAMS	--	CREAMY SW7012 - SATIN FINISH	--	PROVIDE (1) PRIMER COAT (SHERWIN WILLIAMS MULTI-PURPOSE LATEX PRIMER/SEALER) & (2) FINISH COATS OF PRO INDUSTRIAL, PRE-CATALYZED WATER BASED EPOXY	
EPT-2	EPOXY PAINT	SHERWIN WILLIAMS	--	ELLIE GRAY SW7650 - SATIN FINISH	--	PROVIDE (1) PRIMER COAT (SHERWIN WILLIAMS MULTI-PURPOSE LATEX PRIMER/SEALER) & (2) FINISH COATS OF PRO INDUSTRIAL, PRE-CATALYZED WATER BASED EPOXY	
ETR	EXISTING FINISH TO REMAIN	--	--	--	--	PROVIDE (1) PRIMER COAT (SHERWIN WILLIAMS MULTI-PURPOSE LATEX PRIMER/SEALER) & (2) FINISH COATS OF PRO INDUSTRIAL, PRE-CATALYZED WATER BASED EPOXY	
GRT-1	GROUT	LATICRETE	--	78 STERLING SILVER	3/16"	ALIGN TILE GROUT JOINTS AT BASE AND FLOOR	
HMF-1	HOLLOW METAL FRAME	EXISTING METAL DOOR FRAME	--	SEE REMARKS - SEMI-GLOSS FINISH	--	PROVIDE (1) PRIMER COAT (SHERWIN WILLIAMS MULTI-PURPOSE LATEX PRIMER/SEALER) & (2) FINISH COATS OF PRO INDUSTRIAL, PRE-CATALYZED WATER BASED EPOXY. NO VISIBLE BRUSH MARKS. PAINT FRAME TO MATCH ADJACENT WALL PAINT COLOR. IN SPACES WITH WALLCOVERING VWC-1 PROVIDE PAINT TO MATCH EPX-1-1, VWC-2 PROVIDE PAINT TO MATCH EPX-2	
MIR-1	MIRROR	BOBRICK	B-165 SERIES	CHANNEL FRAME	24"W x 36"H	SEE DRAWINGS FOR LOCATION. VERIFY IN FIELD ALL DIMENSIONS.	
MRS-1	MANUAL ROLLER SHADE	HUNTER DOUGLAS RB500 MANUAL ROLLER SHADES	--	SHADE GRAPHITE (0% OPENNESS) - VALANCE TO BE BRONZE	--	SEE DRAWINGS FOR LOCATION. VERIFY IN FIELD ALL DIMENSIONS.	
PTF-1	PORCELAIN TILE FLOOR	ROCA TILE USA	--	ORION NIEVE UNPOLISHED	12"x24"	33% OFFSET INSTALLATION	RICHARD@PALMETTOTILE.COM 803-206-7156
PTW-1	PORCELAIN TILE WALL	ROCA TILE USA	--	ORION NIEVE UNPOLISHED	12"x24"	33% OFFSET INSTALLATION	RICHARD@PALMETTOTILE.COM 803-206-7156
SS-1	SOLID SURFACE	CORIAN	--	WHIPPED CREAM	--	RESTROOM SINK COUNTERTOP/BACKSPLASH	
TPT-1	TOILET PARTITIONS	PARTITIONS SYSTEMS INTERNATIONAL OF SOUTH CAROLINA	4820-60 CARBON EVOLUTION	--	--	RESTROOM TOILET PARTITIONS	
TR-1	TACK RAIL	KOROSEAL	TACK RAIL	CLEAR SATIN ANODIZED ALUMINUM FRAME	1"	TACKABLE SURFACE REFER TO MANUF. INSTRUCTIONS FOR INSTALLATION. INSTALL TWO ROWS OF TACK RAILS. ROW 1 INSTALL 3'-1" AFF. ROW 2 INSTALL 6'-10" AFF. CONFIRM WITH OWNER.	
VF-1	VINYL FILM	3M	FASARA GLASS FINISHES	--	--	DIGITALLY CUTTABLE FILM FOR SIGNAGE AT SUITE ENTRY DOORS	
VWC-1	VINYL WALLCOVERING	MOMENTUM WALLCOVERINGS D.L. COUCH	LANARK WATERCOLOR SILK L2-WA-05	AURA	54"	TYPE II WALLCOVERING 20 OZ.	MLAWRENCE@MOMTEX.COM 800.366.6839 X841
VWC-2	VINYL WALLCOVERING	MOMENTUM WALLCOVERINGS D.L. COUCH	LANARK BACCARAT R2-BC-22	COASTAL	54"	TYPE II WALLCOVERING 20 OZ.	MLAWRENCE@MOMTEX.COM 800.366.6839 X841
VWC-3	VINYL WALLCOVERING	WOLF GORDON	HIGH FIDELITY	A25247HF INDIGO BLUE	54"	TYPE II WALLCOVERING 20 OZ. REVERSE HANG RANDOM MATCH	MICHELLE.HODGES@WOLFGORDON.COM 704-674-6591
VWC-4	VINYL WALLCOVERING	WOLF GORDON	HIGH FIDELITY	A25248HF RUNWAY EMERALD	54"	TYPE II WALLCOVERING 20 OZ. REVERSE HANG RANDOM MATCH	MICHELLE.HODGES@WOLFGORDON.COM 704-674-6591

#### GENERAL NOTES:

- PRIOR TO INSTALLATION AND FABRICATION, CONTRACTOR SHALL COORDINATE WITH ARCHITECT AND INTERIOR DESIGNER TO REVIEW ALL FLOOR PATTERNS, FINISHES AND DOCUMENTATION INFORMATION.
- PRIOR TO PAINTING, PAINTING CONTRACTOR SHALL SUBMIT TO ARCHITECT/INTERIOR DESIGNER EACH PAINT COLOR FINISH ON A 9 1/2" X 11" SHEET OF CHIPBOARD FOR PRELIMINARY APPROVAL. FOR FINAL APPROVAL BY OWNER AND ARCHITECT PRIOR TO PAINTING, THE PAINTING CONTRACTOR SHALL PAINT EACH PAINT COLOR WITH THE DESIGNATED FINISH ON A 4' X 4' PIECE OF GYPSUM BOARD. SAMPLE BOARDS SHALL BE REVIEWED AND APPROVED AT THE JOB SITE WITH THE APPROPRIATE LIGHTING.
- INSTALLERS OF EACH FINISH MATERIAL SHALL INSPECT BOTH THE SUBSTRATE AND CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. INSTALLER SHALL NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED IN AN ACCEPTABLE MANNER TO ALL PARTIES AND MEET ALL MANUFACTURER'S REQUIREMENTS.
- ALL INTERIOR FINISHES SHALL COMPLY WITH SECTION 803 OF RESTRICTIONS OF COMBUSTIBLE MATERIALS OF THE INTERNATIONAL BUILDING CODE. ALL INTERIOR FINISHES SHALL BE CLASS A OR BETTER.
- THE INTENT IS TO PROVIDE A COMPLETE FINISHED INTERIOR WHETHER OR NOT SPECIFICALLY INDICATED. ITEMS SHALL BE FINISHED AND/OR PAINTED AS DIRECTED BY DESIGNER, WHETHER OR NOT SPECIFICALLY SCHEDULED OR INDICATED ON DRAWINGS.
- CARPET INSTALLER SHALL SUBMIT LAYOUT/PATTERN SHOP DRAWINGS FOR ALL AREAS SPECIFIED TO RECEIVE CARPET FLOORING PRIOR TO COMMENCEMENT OF WORK.
- PAINT ALL EXPOSED AND SEMI-EXPOSED WOOD BLOCKING AND METAL SUPPORTS TO MATCH ADJACENT SURFACES. COORDINATE WITH INTERIOR DESIGNER.
- PAINTED FINISH ON METAL SURFACES SHALL BE SMOOTH, CLEAR AND FREE OF ALL BRUSH MARKS.
- GC TO INSTALL RUBBER REDUCER STRIP AT ALL FLOOR FINISH TRANSITIONS AND SCHLUTER (OR EQUAL) METAL TRANSITION STRIP AT TILE LOCATIONS. REFER TO DETAILS ON A711.
- PAIN METAL WALL-MOUNTED ACCESS DOORS, GRILLES, RETURN AIR GRILLES, COVER PLATES, FAN COIL UNITS, FIRE EQUIPMENT CABINETS, AND ELECTRICAL CABINETS TO MATCH ADJACENT SURFACE UNLESS OTHERWISE NOTED.
- ALL FLOOR FINISH CHANGES SHALL OCCUR AT THE CENTER LINE OF CLOSED DOORS.
- FLOOR PATTERN TO CONTINUE UNDER ALL OPEN WOODWORK/WORKSURFACES.
- FLOORING CONTRACTOR SHALL MAKE ADJUSTMENTS TO ACCOMMODATE FOR ANY DIFFERENCES IN THE PILE HEIGHT OF THE CARPET.
- PRIOR TO ORDERING, SUB-CONTRACTORS FOR FLOORING, PAINTING, AND MILLWORK SHALL SUBMIT TO ARCHITECT/INTERIOR DESIGNER AN 8" X 8" SAMPLE OF EACH MATERIAL SPECIFIED FOR FINAL APPROVAL.
- IF ANY DISCREPANCIES OR OMISSIONS ARE NOTED IN THESE DRAWINGS, CONTACT INTERIOR DESIGNER OR ARCHITECT PRIOR TO ORDERING OR COMMENCING WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK LEAD TIMES ON FINISHES IN ORDER TO AVOID DELAYING WORK.
- INSTALLER TO USE PROPER LEVELING SPACERS IN ORDER TO OBTAIN GROUT JOINT SIZE SPECIFIED BY ARCHITECT OR INTERIOR DESIGNER.
- ALL CARPET TO BE DIRECT GLUE-DOWN INSTALLATION WITH RELEASE ADHESIVE PER MANUFACTURER'S INSTRUCTIONS. UNO, CARPET TO BE INSTALLED ON SMOOTH, CLEAN SUBSTRATE USING MINIMUM JOINTS & SEAM. GC TO ENSURE MATCHING DYELOTS OF CARPET IN SAME PATTERN & COLOR. CARPET NAP TO RUN IN SAME DIRECTION AT ALL SEAMED LOCATIONS. ALL SEAMS TO HAVE HEAVY DUTY SEAM SEALER PER MANUF. INSTRUCTIONS, TYP.
- NOT USED.
- ALL WALL SURFACE PAINT PER INTERIOR FINISH LEGEND, GWB CEILING PAINT TO BE FLAT FINISH & METAL PAINT GRADE WOOD DOORS TO BE PAINTED SEMI-GLOSS LATEX FINISH. COLOR PER DRAWINGS. ALL HOLLOW METAL DOOR FRAMES TO BE PAINTED WITH SEMI-GLOSS PAINT PER DRAWINGS.
- UNO ALL GWB CEILINGS TO BE PAINTED PNT-1.
- UNO GC TO PROVIDE (1) PRIMER COAT & (2) FINISH COATS OF PAINT FOR ALL WALLS.
- UNO GC TO PROVIDE (1) PRIMER COAT (TINTED) & (4) FINISH COATS OF PAINT FOR ALL WALLS OR AREAS RECEIVING SATURATED COLOR. GC TO ENSURE ALL TAPE & SPACKLE BE SMOOTH AT THESE LOCATIONS.
- CONTRACTOR TO REPAIR AND REINSTALL FINISHES TO MATCH EXISTING FINISHES WHEN SELECTIVE DEMOLITION IS REQUIRED TO CONSTRUCT NEW WALL PARTITIONS OR TO CARRY OUT LIGHTING, MECHANICAL, CEILING AND FIRE ALARM DEVICE MODIFICATIONS.

#### ROOM FINISH TAG LEGEND

ROOM NAME	ROOM NAME	NOTE: IF 'ETR' SHOWN THIS DENOTES EXISTING FINISH TO REMAIN.
(2201)	ROOM NUMBER	PROTECT DURING
PNT-1	WALL MATERIAL CODE	RENOVATION/CONSTRUCTION. IF
RBS-1	BASE MATERIAL CODE	SHOWN THIS DENOTES
OPT-1	FLOOR MATERIAL CODE	SURFACE TO BE PREPARED AND
1.2.4	ROOM FINISH NOTES	INSTALLED BY OTHERS

#### SHEET NOTES

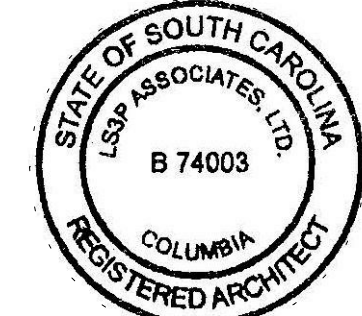
- REWORK EXISTING ACOUSTICAL CEILING SYSTEM AS REQUIRED PER NEW WALL CONFIGURATION. PROVIDE ACT-1 (2x2" TILE).
- NEW ACT-2 (2x4") ACOUSTICAL TILE CEILING AND GRID.



CLOSE HIPPO  
EVENT SPACE  
RENOVATION  
PROJECT NO.:  
H27-Z340



LS3P ASSOCIATES LTD.  
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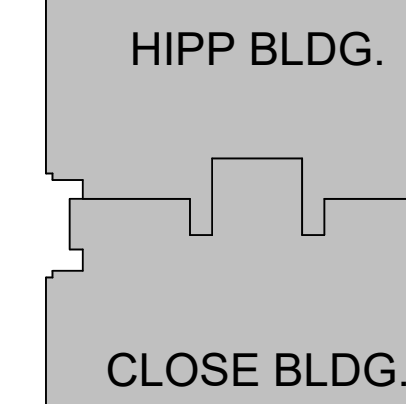


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#### REVISIONS:

No.	Description	Date
1	ADDENDUM NO. 1	10/17/2019
2	ADDENDUM NO. 2	10/24/2019

#### KEY PLAN



8TH FLOOR  
INTERIOR ELEVATIONS &  
DETAILS

A-708